

### 18.28.500 Community Mixed Use Zone Districts (CMU)

The Community Mixed Use Zone Districts (CMU) are intended to help implement the land use goals and strategies found in the Golden Vision 2030 values, which was also the basis for the 2011 Comprehensive Plan update. These three districts are intended to accommodate multi-family residential uses, local businesses and a vibrant mix of uses, pedestrian friendly streets and neighborhoods, and attractive and safe public spaces where people can congregate.

The CMU zone district places more emphasis on the “form” of development than the use. Buildings are required to locate toward the sidewalk, with parking in the back. Entry doors and windows are oriented to the sidewalk. There are currently three CMU zone districts, described below as Community Mixed Use Neighborhood Center (CMU-NC), Community Mixed Use Community Corridor 1 (CMU-CC1), and Community Mixed Use Community Corridor 2 (CMU-CC2).

**18.28.510 Principal Building Setbacks for All CMU Types:** Principal Buildings shall be placed within the shaded area as shown in Diagram A. Principal buildings must be located no more than ten feet from the principal front property line for at least 75% of the property frontage.

1. Front Setback: 0 to 10’ maximum setback for 75% of principal frontage
2. Side Street Setback: 0’ to 10’ maximum setback for 25% of secondary frontage
3. Side and Rear Setback: 0’ minimum.
4. Alley Setback: 5’ minimum.

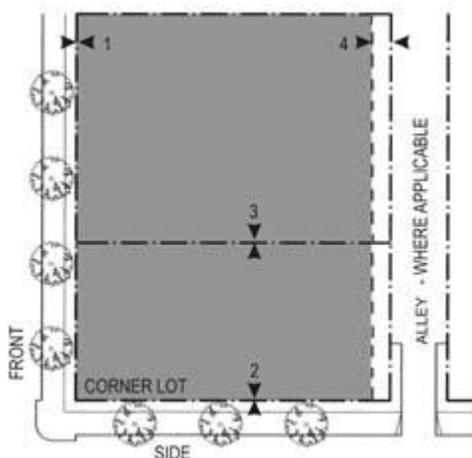


Diagram A

**18.28.520 Parking and Accessory Building Placement:** Vehicle access is not allowed from the principal street. Off-street parking, except subterranean parking, and accessory buildings allowed only in the shaded area as shown in Diagram B, as described below:

1. Front Street Setback: Parking and Accessory Buildings not allowed in the 25 feet of lot area closest to the front property line.

2. Side Street Setback: 5' minimum from side property line.
3. Side and Rear Setback: 0' minimum from side and rear property line.
4. Alley Setback: 5' minimum from rear property line.

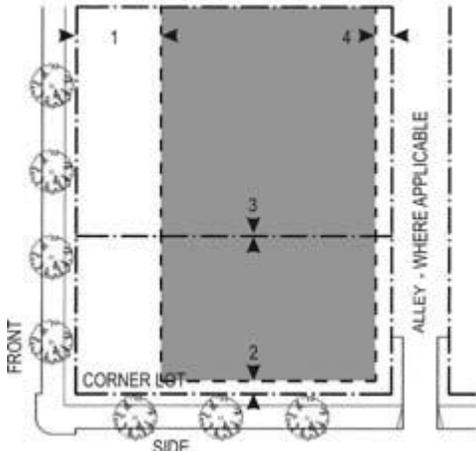
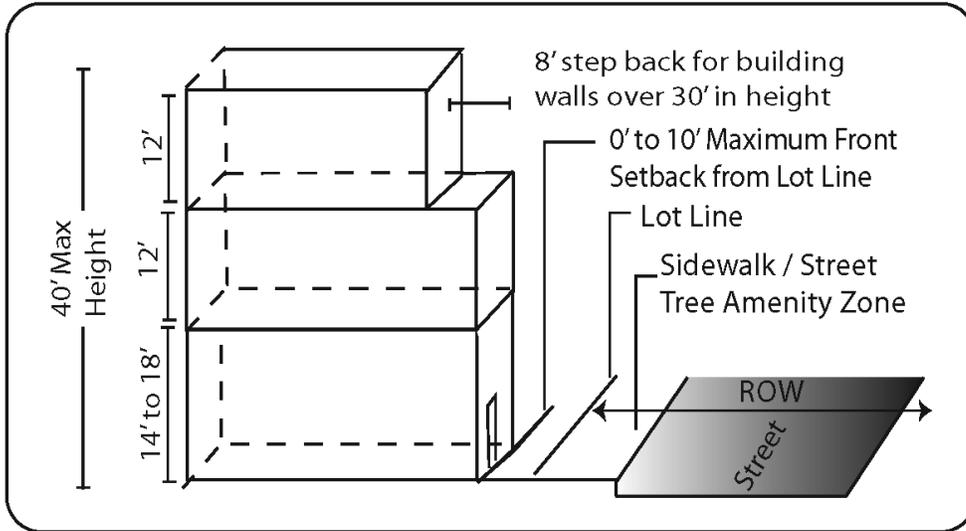


Diagram B

**18.28.530 Height Requirements for Each CMU Type:** Except as provided in subsection 3, below, building height is to be measured according to the “Building height” definition in Chapter 18.04 except that, for those structures located within a flood zone as defined by the Federal Emergency Management Administration (FEMA) maps, the grade shall be defined as one foot above the Base Flood Elevation (BFE) as defined by (FEMA), but not to exceed five (5) feet above grade as typically defined.

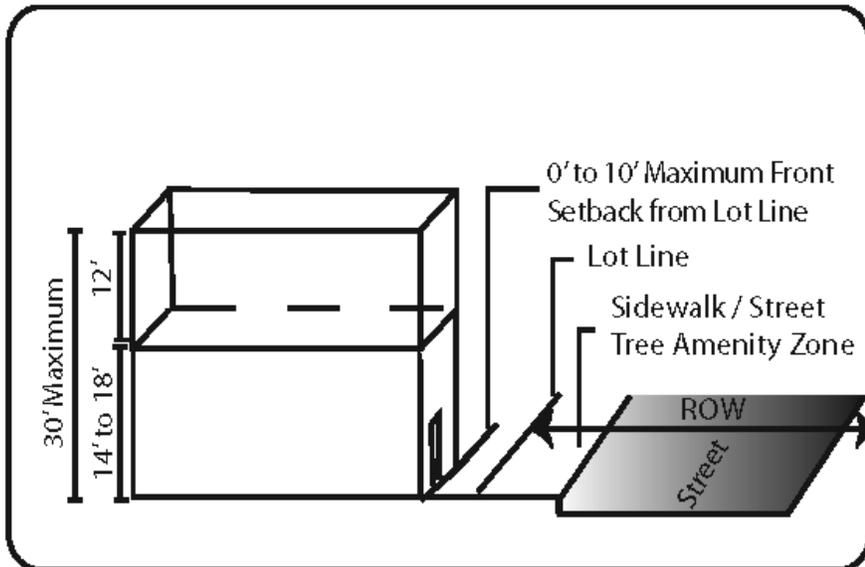
1. Neighborhood Center (CMU-NC)

- a. Up to 30 feet for Principal Building, except that up to 40 feet is permitted provided that building walls over 30 feet are stepped back 8 feet from the front wall of the building, and provided that the footprint above 30 feet is no greater than 50% of the building footprint. Approval for height over 30 feet is subject to Tier 2 Bonus criteria (see Section 18.40.724 (5) of the Golden Municipal Code), and requires Planning Commission approval.
- b. Floor to Floor: 14' minimum and 18' maximum ground floor, 12' maximum second floor and above, except the maximum total height of buildings is 40 feet.
- c. Accessory buildings: 20' maximum.



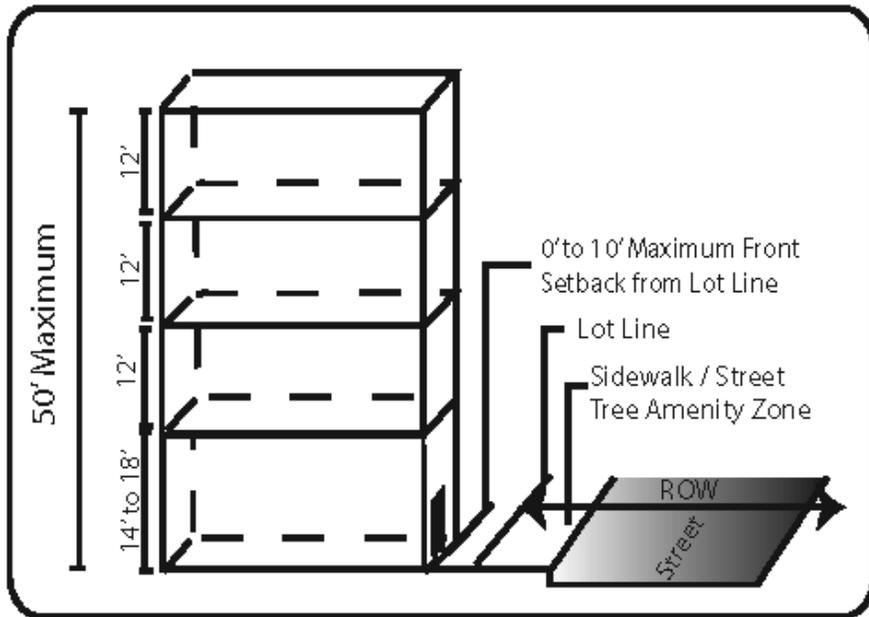
## 2. Community Corridor 1 (CMU-CC1)

- Maximum: 30 feet.
- Floor to Floor: 14' minimum and 18' maximum ground floor, 12' maximum second floor.
- Accessory buildings: 20' maximum.



## 3. Community Corridor 2 (CMU-CC2)

- Maximum: 50 feet, as measured from front property line.
- Floor to Floor: 14' minimum and 18' maximum ground floor, 12' maximum second floor.
- Accessory buildings: 20' maximum.



### 18.28.540 Allowed Uses for All CMU Types

Allowed Uses	CMU Zone Districts		
	NC	CC1	CC2
Amusement Facilities (Indoor only)	A	A	A
Bar / Nightclub	SUP	X	SUP
Municipal	A	A	A
Daycare	SUP	SUP	SUP
Outdoor Market	SUP	X	SUP
Health / Fitness	A	A	A
Home Occupations	A	A	A
Lodging	A	A	A
Manufacture of Handicraft Products	A	A	A
Medical / Dental	A	A	A
Micro brewery/distillery/winery	A	X	A
Office	A	A	A
Personal Services	A	A	A
Religious Assembly	A	A	A
Residential Multifamily (75% square feet or less)	A	A	A
Residential Multifamily (more than 75% of square footage)	SUP	SUP	SUP
Restaurant	A	A	A
Retail	A	A	A
Solar Garden	A	A	A

Public and Private Schools	SUP	SUP	SUP
Veterinarian hospital (Indoor only)	A	A	A
Vehicular drive up or drive thru facilities (Access from alleys and private drives only)	SUP	SUP	SUP

*SUP = Special Use Permit (See Ch. 18.30)*

*A = Allowed By Right*

*X= Not Allowed*