

SITE PLAN FOR:

GATEWAY
VILLAGE RETAIL

CONTACTS:

OWNER / DEVELOPER

NORTHSTAR COMMERCIAL PARTNERS

1999 BROADWAY STE. 770
DENVER, CO 80202

DONALD J. MARCOTTE
DIRECTOR OF DEVELOPMENT
(720) 240-0623

CIVIL ENGINEER

LARSON ENGINEERING, INC.

1001 OFFICE PARK RD. STE. 214
WEST DES MOINES, IA

MICHAEL MURPHY, PE
(515) 225-4377

LANDSCAPE ARCHITECT

BRITINA DESIGN GROUP

1615 CALIFRONIA ST. STE 411
DENVER, CO 80202

ROBERT M. COURI, ASLA
(303) 456-2887

ARCHITECT

DAVIS WINCE, LTD.

1764 PLATE ST.
DENVER, CO 80202

TOM DAVIS, AIA
(303) 893-0505

MEP ENGINEER

MDP ENGINEERING GROUP

1800 GLENARM PLACE 8TH FLOOR
DENVER, CO 80202

ANTONY SINITSKY
(303) 389-0095

CITY OF GOLDEN SUSTAINABILITY MENU

WATER CONSERVATION, STORM WATER, AND WATER QUALITY

POINTS

BUILDING WATER CONSERVATION MEASURES SHALL INCLUDE SUB-1GALLON FLUSH URINALS, DUAL FLUSH TOILETS, LOW FLOW FAUCETS AND DRIP IRRIGATION

3

TRANSPORTATION

POINTS

PROVIDE DOUBLE THE MINIMUM OF REQUIRED BICYCLE PARKING AND A BIKE REPAIR STATION AND SECURED PARKING FOR 50%

3

RESTRICT PARKING ON SITE TO THE MINIMUM PERMITTED BY CODE

3

PROVIDE PREFERRED PARKING FOR 5% OF PARKING SPACES TO SERVE CAR / VAN POOL VEHICLES OR ELECTRIC VEHICLES

1

ENERGY EFFICIENCY

POINTS

COMMISSION THE BUILDING(S) FOR ENERGY EFFICIENCY PERFORMANCE BY A TECHNICIAN PRIOR TO C/O

2

INCREASE ENERGY EFFICIENCY OVER CURRENTLY ADOPTED IECC CODE (ONE POINT FOR EVERY 2% INCREASE)

6

PROVIDING A PROGRAMMABLE THERMOSTAT

1

PLANT AT LEAST 20% ADDITIONAL TREES THAN OTHERWISE REQUIRED TO MAXIMIZE SHADE OVER PAVED AREAS

3

PROVIDE SEPARATE METERS FOR TENANT OCCUPIED SPACES

2

INSTALL HEAT REFLECTIVE ROOD MATERIALS (MINIMUM 29 SRI)

2

TOTAL PROPOSED SUSTAINABILITY POINTS

26

± TOTAL EXISTING SUSTAINABILITY POINTS

+ 3

TOTAL SUSTAINABILITY POINTS (25 REQUIRED)

29

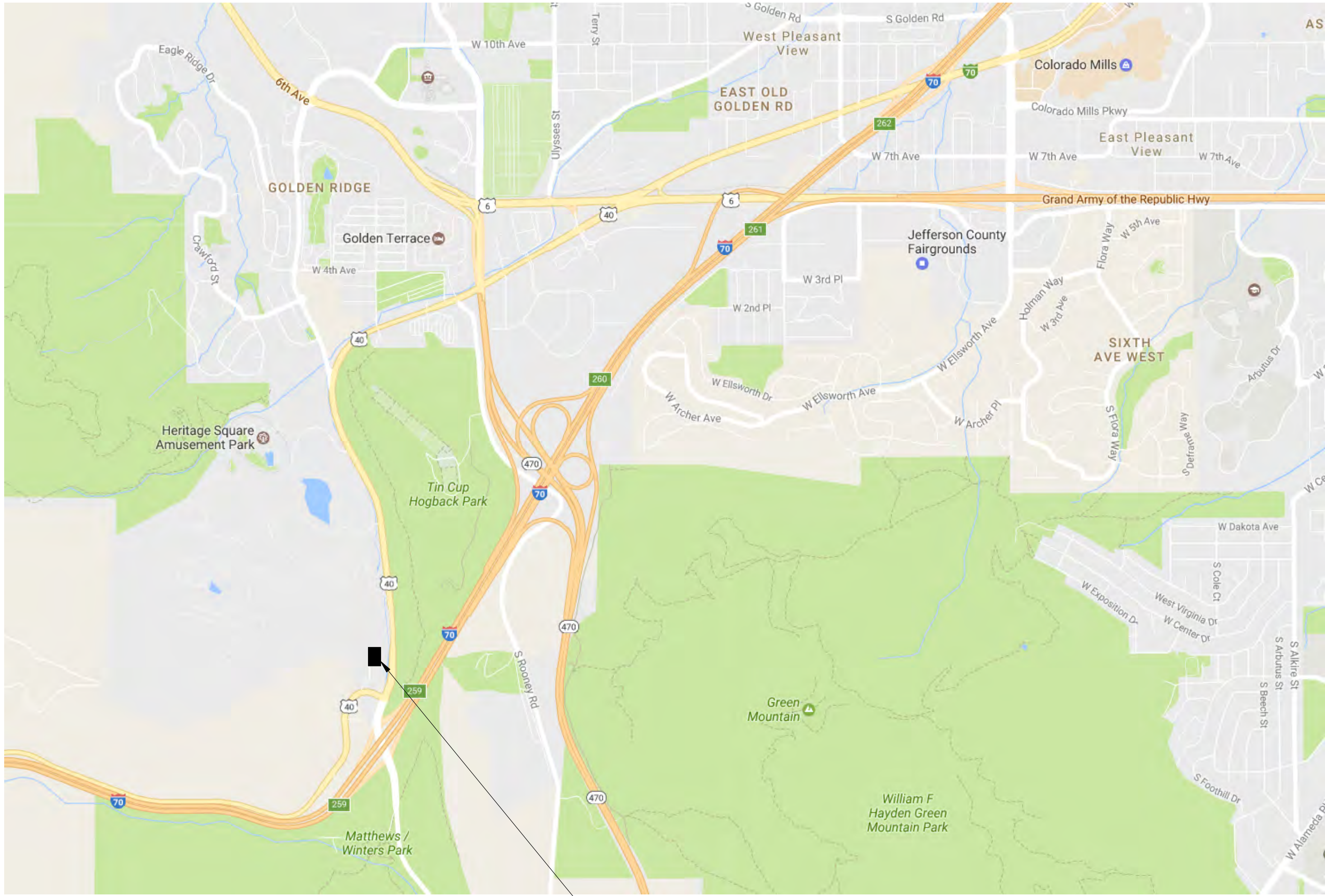
LEGAL DESCRIPTION

PART OF THE EAST HALF SECTION 15, TOWNSHIP 4 SOUTH, RANGE 70 WEST OF THE 6TH P.M COUNTY OF JEFFERSON, STATE OF COLORADO.


FLOOD ZONE

THIS PROPERTY IS IN FLOOD ZONE "X", AREAS OF MINIMAL FLOODING, ACCORDING TO FEMA FLOOD INSURANCE RATE MAP 08059C 0279 F, EFFECTIVE DATE FEBRUARY 5, 2014.

SITE VICINITY MAP



SITE



REVISIONS

NO.	DATE	DESCRIPTION

PREPARED FOR:

GATEWAY VILLAGE RETAIL

NORTHSTAR COMMERCIAL PARTNERS

70 MORRISON ROAD
GOLDEN, CO 80401

PREPARED BY:

tel 303 893.0505

fax 303 433.4988

DAVIS WINCE Ltd

ARCHITECTURE

1764 Platte Street • Denver, CO 80202

www.daviswince.com

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2017.15

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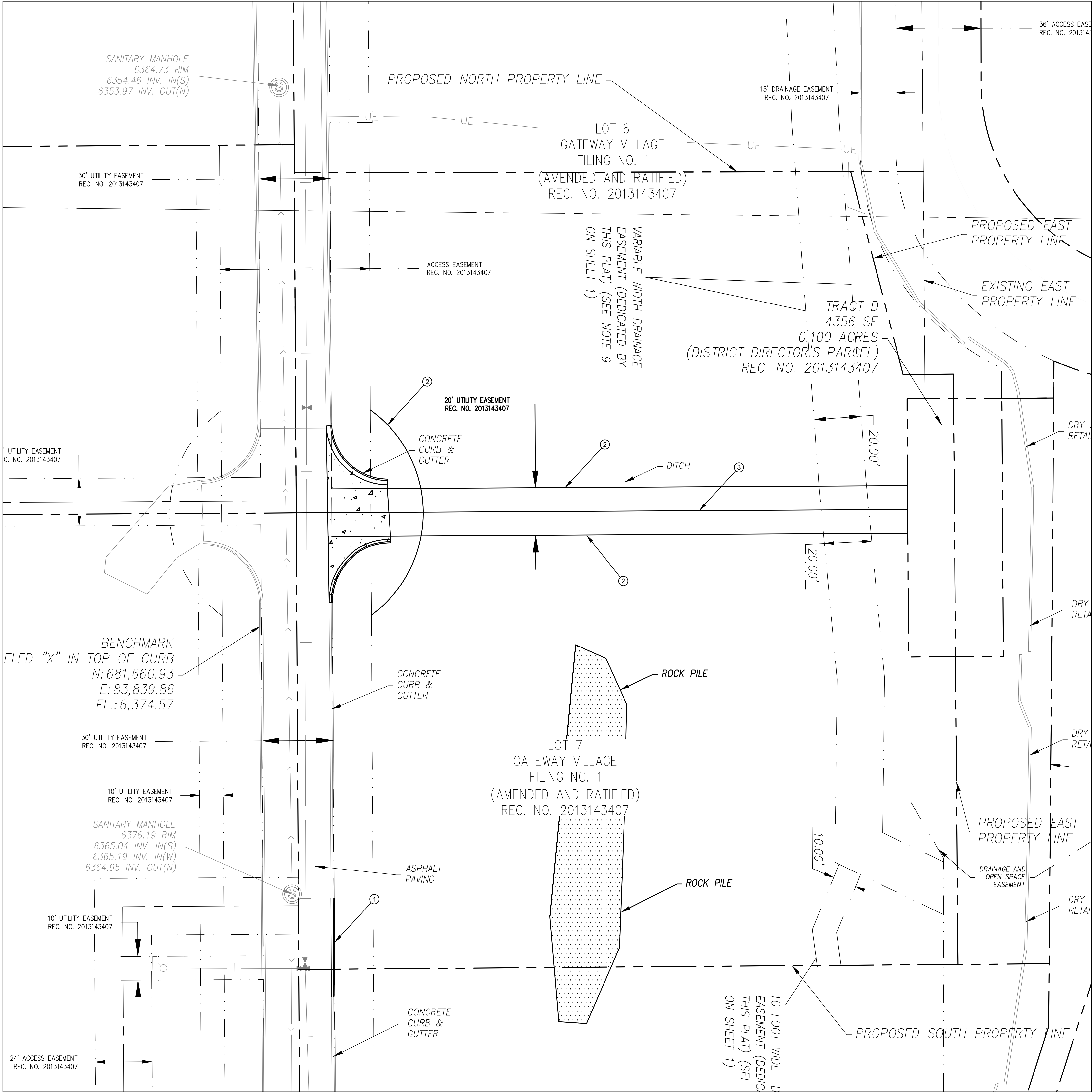
CONSTRUCTION DOCUMENTS

DATE:

06.28.2017

COVER SHEET

G0.0



SYMBOL LEGEND

- REMOVE AND DISPOSE OF DIRT, STONE AND DEBRIS PILE
- REMOVE AND DISPOSE OF EXISTING CONCRETE SECTION

KEY NOTES

- REMOVE AND DISPOSE OF EXISTING CURB AND GUTTER
- EASEMENT TO BE VACATED
- EXISTING PROPERTY LINE TO BE REPLAT

DEMOLITION NOTES

- Verify all existing utility locations.
- It is the responsibility of the Contractor to perform or coordinate all necessary utility demolitions and relocations from existing utility locations to all onsite amenities and buildings. These connections include, but are not limited to, water, sanitary sewer, cable tv, telephone, gas, electric, site lighting, etc.
- Prior to beginning work, contact Colorado State OneCall (811 or 1-800-922-1987) to locate utilities throughout the area under construction. The Contractor shall retain the services of a private utility locator to locate the private utilities.
- All construction shall be performed in accordance with state and local standard specifications for construction.

CITY OF GOLDEN GENERAL NOTES

- ALL MATERIALS, WORKMANSHIP, AND CONSTRUCTION OF PUBLIC IMPROVEMENTS SHALL MEET OR EXCEED THE STANDARDS AND SPECIFICATIONS SET FORTH IN THE CITY OF GOLDEN STANDARDS AND SPECIFICATIONS, AND APPLICABLE STATE AND FEDERAL REGULATIONS, WHERE THERE IS CONFLICT BETWEEN THESE PLANS AND THE SPECIFICATIONS, OR ANY APPLICABLE STANDARDS, THE HIGHER QUALITY STANDARD SHALL APPLY. ALL WORK SHALL BE INSPECTED AND APPROVED BY THE CITY.
- ALL REFERENCES TO ANY PUBLISHED STANDARDS SHALL REFER TO THE LATEST REVISION OF SAID STANDARD, UNLESS SPECIFICALLY STATED OTHERWISE.
- THE CONSULTANT ENGINEER SHALL PROVIDE, ON THE COVER OF THE PLAN SET, THE LOCATION AND DESCRIPTION OF THE NEAREST SURVEY BENCHMARK FOR THE PROJECT AS WELL AS THE BASIS OF BEARINGS. THE CONTRACTOR SHALL HAVE ONE (1) SIGNED COPY OF THE APPROVED PLANS, ONE (1) COPY OF THE APPROPRIATE STANDARDS AND SPECIFICATIONS, AND A COPY OF ANY PERMITS AND/OR AGREEMENTS NEEDED FOR THE JOB, ONSITE AT ALL TIMES.
- THE CONTRACTOR IS SPECIFICALLY CAUTIONED THAT THE LOCATION AND/OR ELEVATION OF EXISTING UTILITIES, AS SHOWN ON THESE PLANS, IS BASED ON RECORDS OF THE VARIOUS UTILITY COMPANIES AND, WHERE POSSIBLE, MEASUREMENTS TAKEN IN THE FIELD. THE INFORMATION IS NOT TO BE RELIED UPON AS BEING EXACT OR COMPLETE. THE CONTRACTOR MUST CALL THE LOCAL UTILITY LOCATION CENTER AT LEAST FORTYEIGHT (48) HOURS BEFORE ANY EXCAVATION OR REQUEST TO EXACT FIELD LOCATIONS OF THE UTILITIES. PRIOR TO CONSTRUCTION, THE CONTRACTOR SHALL VERIFY PERTINENT LOCATIONS AND ELEVATIONS, ESPECIALLY AT CONNECTION POINTS AND AT POTENTIAL UTILITY CONFLICTS. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO RELOCATE ALL EXISTING UTILITIES THAT CONFLICT WITH THE PROPOSED IMPROVEMENTS SHOWN ON THESE PLANS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FOR APPLICABLE AGENCIES. ANY EARTH DISTURBING ACTIVITY OR CONSTRUCTION ON ANY AND ALL PUBLIC IMPROVEMENTS WILL NOT BE PERMITTED UNTIL THE RECORDATION OF PLAT(S) AND/OR EASEMENTS, AND A PRECONSTRUCTION MEETING. THE DEVELOPER, ENGINEER OR CONTRACTOR, SHALL SCHEDULE A PRECONSTRUCTION MEETING WITH THE CITY AT LEAST FORTY-EIGHT (48) HOURS PRIOR TO THE START OF CONSTRUCTION. APPROVED PLANS SHALL BE DISTRIBUTED AT THE PRECONSTRUCTION MEETING.
- THE CONTRACTOR IS RESPONSIBLE FOR THE TIMELY NOTIFICATION OF AND SHALL COORDINATE WORK IN ALL WORK AREAS WITH THE APPROPRIATE STATE, COUNTY, CITY, OR LOCAL AGENCIES.
- THE CONTRACTOR SHALL COORDINATE AND COOPERATE WITH THE CITY, AND ALL UTILITY COMPANIES INVOLVED, WITH REGARD TO RELOCATIONS OR ADJUSTMENTS OF EXISTING UTILITIES DURING CONSTRUCTION, AND TO ASSURE THAT THE WORK IS ACCOMPLISHED IN A TIMELY FASHION AND WITH A MINIMUM DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CONTACTING ALL PARTIES AFFECTED BY ANY DISRUPTION OF UTILITY SERVICE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL ASPECTS OF SAFETY INCLUDING BUT NOT LIMITED TO, EXCAVATION, TRENCHING, SHORING, TRAFFIC CONTROL, AND SECURITY.
- THE CONTRACTOR SHALL SUBMIT A TRAFFIC CONTROL PLAN, IN ACCORDANCE WITH MUTCD, TO THE APPROPRIATE RIGHT-OF-WAY AUTHORITY (CITY, COUNTY OR STATE), FOR APPROVAL, PRIOR TO ANY CONSTRUCTION ACTIVITIES WITHIN, OR AFFECTING, THE RIGHT-OF-WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING ANY AND ALL TRAFFIC CONTROL DEVICES AS MAY BE REQUIRED BY THE CONSTRUCTION ACTIVITIES.

- PART II
- THE CONTRACTOR IS RESPONSIBLE FOR PROVIDING ALL LABOR AND MATERIALS NECESSARY FOR THE COMPLETION OF THE INTENDED IMPROVEMENTS, SHOWN ON THESE DRAWINGS, OR DESIGNATED TO BE PROVIDED, INSTALLED, OR CONSTRUCTED, UNLESS SPECIFICALLY NOTED OTHERWISE.
 - IF, DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COULD INDICATE A SITUATION THAT IS NOT IDENTIFIED IN THE PLANS OR SPECIFICATIONS, THE CONTRACTOR SHALL CONTACT THE CITY IMMEDIATELY.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR KEEPING ROADWAYS FREE AND CLEAR OF ALL CONSTRUCTION DEBRIS AND DIRT TRACKED FROM THE SITE.
 - DIMENSIONS FOR LAYOUT AND CONSTRUCTION ARE NOT TO BE SCALED FROM ANY DRAWING. IF PERTINENT DIMENSIONS ARE NOT SHOWN, CONTACT THE CONSULTANT ENGINEER FOR CLARIFICATION, AND ANNOTATE THE DIMENSION ON THE AS-BUILT RECORD DRAWINGS.
 - THE CONTRACTOR SHALL COMPLY WITH ALL TERMS AND CONDITIONS OF THE PROJECT'S STORM WATER MANAGEMENT PLAN AND THE EROSION CONTROL PLAN, WHERE APPLICABLE.
 - ALL STRUCTURAL EROSION CONTROL MEASURES SHALL BE INSTALLED, AT THE LIMITS OF CONSTRUCTION, PRIOR TO ANY OTHER GROUND-DISTURBING ACTIVITY. ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN GOOD REPAIR BY THE CONTRACTOR, UNTIL SUCH TIME AS THE ENTIRE DISTURBED AREAS IS STABILIZED WITH HARD SURFACE LANDSCAPING. THE CITY MAINTAINS THE RIGHT TO REQUIRE ADDITIONAL EROSION CONTROL MEASURES IF NECESSARY DURING CONSTRUCTION.
 - THE CONTRACTOR SHALL SEQUENCE INSTALLATION OF UTILITIES IN SUCH A MANNER AS TO MINIMIZE POTENTIAL UTILITY CONFLICTS. IN GENERAL, STORM SEWER AND SANITARY SEWER SHOULD BE CONSTRUCTED PRIOR TO INSTALLATION OF WATER LINES, DRY UTILITIES, CURB AND GUTTER, AND PAVING.
 - ALL EXISTING STRUCTURES, FENCES, SIGNS, AND IMPROVEMENTS DESTROYED, DAMAGED, OR REMOVED DUE TO THE CONSTRUCTION OF THIS PROJECT SHALL BE REPLACED OR RESTORED IN LIKE AND KIND AT THE CONTRACTOR'S EXPENSE, UNLESS OTHERWISE INDICATED ON THE DRAWINGS.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING A DISPOSAL SITE FOR ALL UNUSABLE MATERIAL REMOVED FROM THE PROJECT.
 - ALL PAVEMENT MARKING REQUIRED FROM THE CONSTRUCTION SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
 - THERE SHALL BE NO SITE CONSTRUCTION ACTIVITIES ON SATURDAYS, UNLESS SPECIFICALLY APPROVED BY THE CITY, AND NO SITE CONSTRUCTION ACTIVITIES ON SUNDAYS OR HOLIDAYS, UNLESS THERE IS PRIOR WRITTEN APPROVAL BY THE PUBLIC WORKS DIRECTOR.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR RECORDING AS-BUILT INFORMATION ON A SET OF RECORD DRAWINGS KEPT ON THE CONSTRUCTION SITE, AND AVAILABLE TO THE CITY AT ALL TIMES.

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NOT FOR
CONSTRUCTION

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GATEWAY VILLAGE RETAIL

NORTHSTAR COMMERCIAL PARTNERS

70 MORRISON ROAD
GOLDEN, CO 80401

PREPARED BY:

tel 614 785.0505
fax 614 785.0202

DAVIS WINCE ltd
ARCHITECTURE
1466 Manning Parkway • Powell, OH 43065
www.daviswince.com

COMM. NO.
2017.15

PHASE:
SITE DEVELOPMENT
PLAN

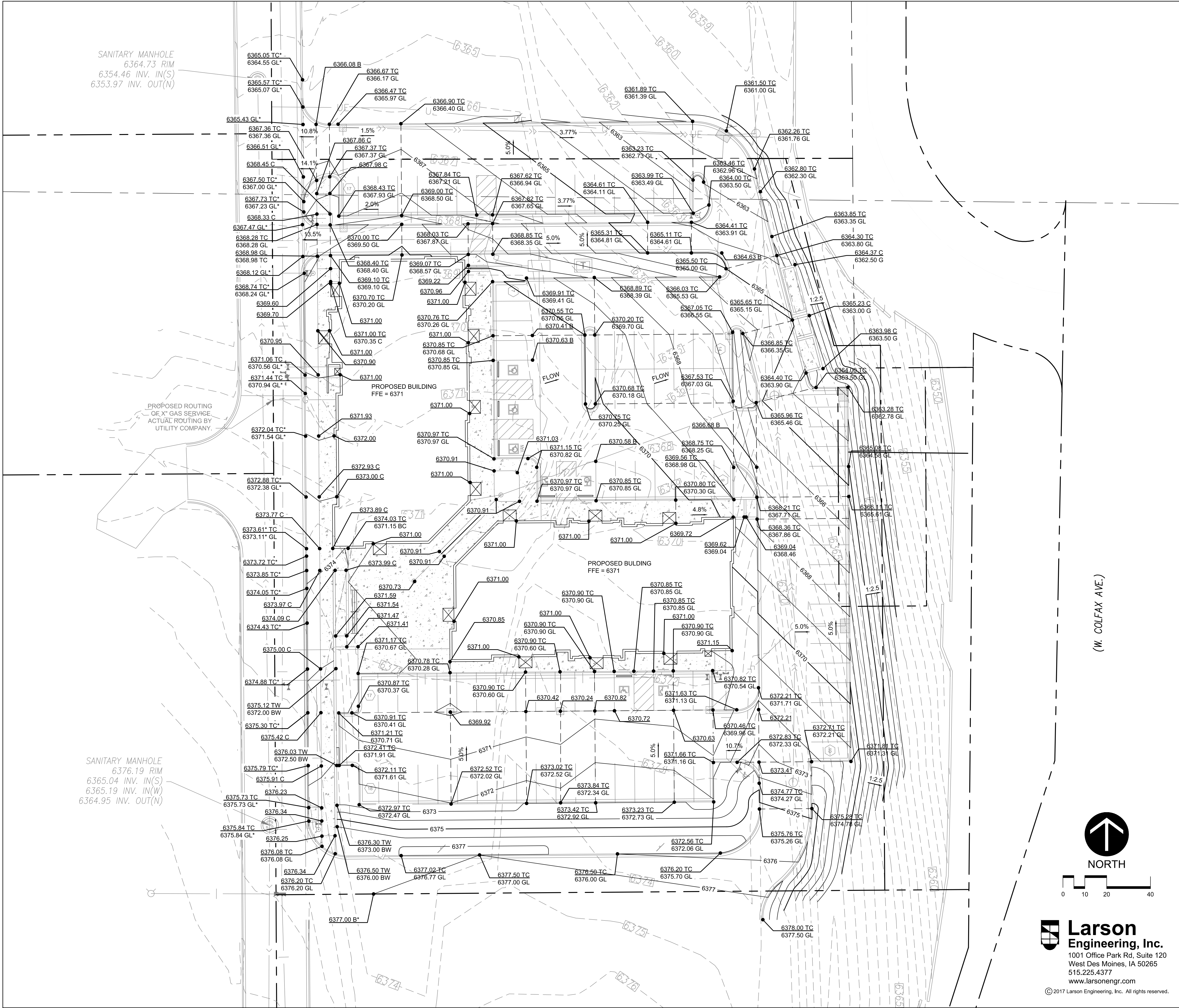
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06.28.17

Larson Engineering, Inc.
1001 Office Park Rd, Suite 120
West Des Moines, IA 50265
515.225.4377
www.larsonengr.com

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DEMOLITION PLAN

SHEET NO.:
C1.0



LEGEND

- EXISTING CONTOURS
- PROPOSED CONTOURS - MAJOR INTERVAL
- PROPOSED CONTOURS - MINOR INTERVAL
- GRADE BREAK LINE
- GRADE SLOPE
- SILT FENCE
- RIP-RAP / ROCK CONST. ENTRANCE
- INLET PROTECTION
- CONCRETE WASHOUT STATION
- SPOT ABBREVIATIONS:
 - TC - TOP OF CURB
 - GL - GUTTER LINE
 - B - BITUMUNOUS
 - C - CONCRETE
 - EO - EMERGENCY OVERTFLOW
 - TW - TOP OF WALL
 - BW - BOTTOM OF WALL (F/G)
 - (*) - EXISTING TO BE VERIFIED

GRADING NOTES

- Tree protection consisting of snow fence or safety fence installed at the drip line shall be in place prior to beginning any grading or demolition work at the site.
- All elevations with an asterisk (*) shall be field verified. If elevations vary significantly, notify the Engineer for further instructions.
- Grades shown in paved areas represent finish elevation.
- Restore all disturbed areas with 4" of good quality topsoil and seed.
- All construction shall be performed in accordance with state and local standard specifications for construction.

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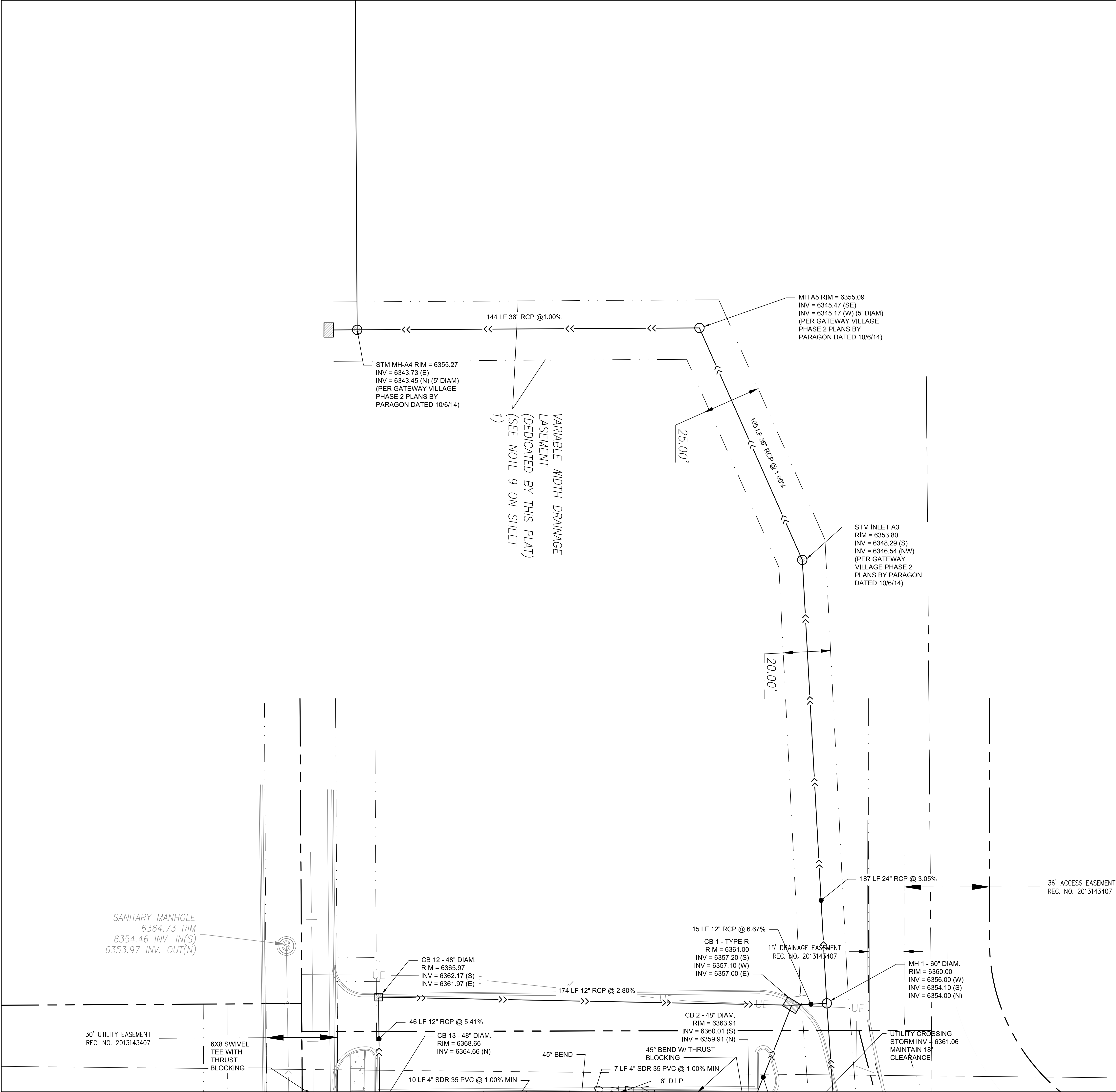
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GRADING PLAN

C3.0

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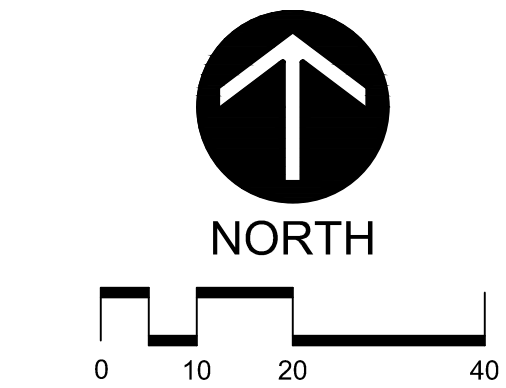


LEGEND

	STORM MANHOLE		CTV		CABLE UNDERGROUND LINE
	CATCH BASIN		OE		ELECTRIC OVERHEAD LINE
	CURB INLET		UE		ELECTRIC UNDERGROUND LINE
	FLARED END		FO		FIBER OPTIC UNDERGROUND LINE
	SANITARY MANHOLE		Sanitary Sewer Pipe		STORM SEWER PIPE
	HYDRANT		Telephone Underground Line		WATERMAIN PIPE
	GATE VALVE & BOX		Drain Tile Pipe		
	WATER SHUTOFF				
	LIGHT POLE				

UTILITY NOTES

- It is the responsibility of the contractor to perform or coordinate all necessary utility connections and relocations from existing utility locations to the proposed building, as well as to all onsite amenities. These connections include but are not limited to water, sanitary sewer, cable TV, telephone, gas, electric, site lighting, etc.
- All service connections shall be performed in accordance with state and local standard specifications for construction. Utility connections (sanitary sewer, watermain, and storm sewer) may require a permit from the City.
- The contractor shall verify the elevations at proposed connections to existing utilities prior to any demolition or excavation.
- The contractor shall notify all appropriate engineering departments and utility companies 72 hours prior to construction. All necessary precautions shall be made to avoid damage to existing utilities.
- Storm sewer requires testing in accordance with local plumbing code where located within 10 feet of waterlines or the building.
- HDPE storm sewer piping and fittings must meet materials and installation standards per local plumbing code including joint pressure test and ASTM C2321 installation practices.
- Maintain a minimum of 4.5' of cover over all water lines and sanitary sewer lines. Install water lines 18" above sanitary sewers, where the sanitary sewer crosses over the water line, install sewer piping of materials equal to watermain standards for 9 feet on both sides and maintain 18" of separation.
- All watermain piping shall be class 52 ductile iron pipe unless noted otherwise.
- See Project Specifications for bedding requirements.
- Pressure test and disinfect all new watermains in accordance with state and local requirements.
- Sanitary sewer piping shall be PVC, SDR-35 for depths less than 12', PVC SDR-26 for depths between 12' and 26', and class 52 D.I.P. for depths of 26' or more.



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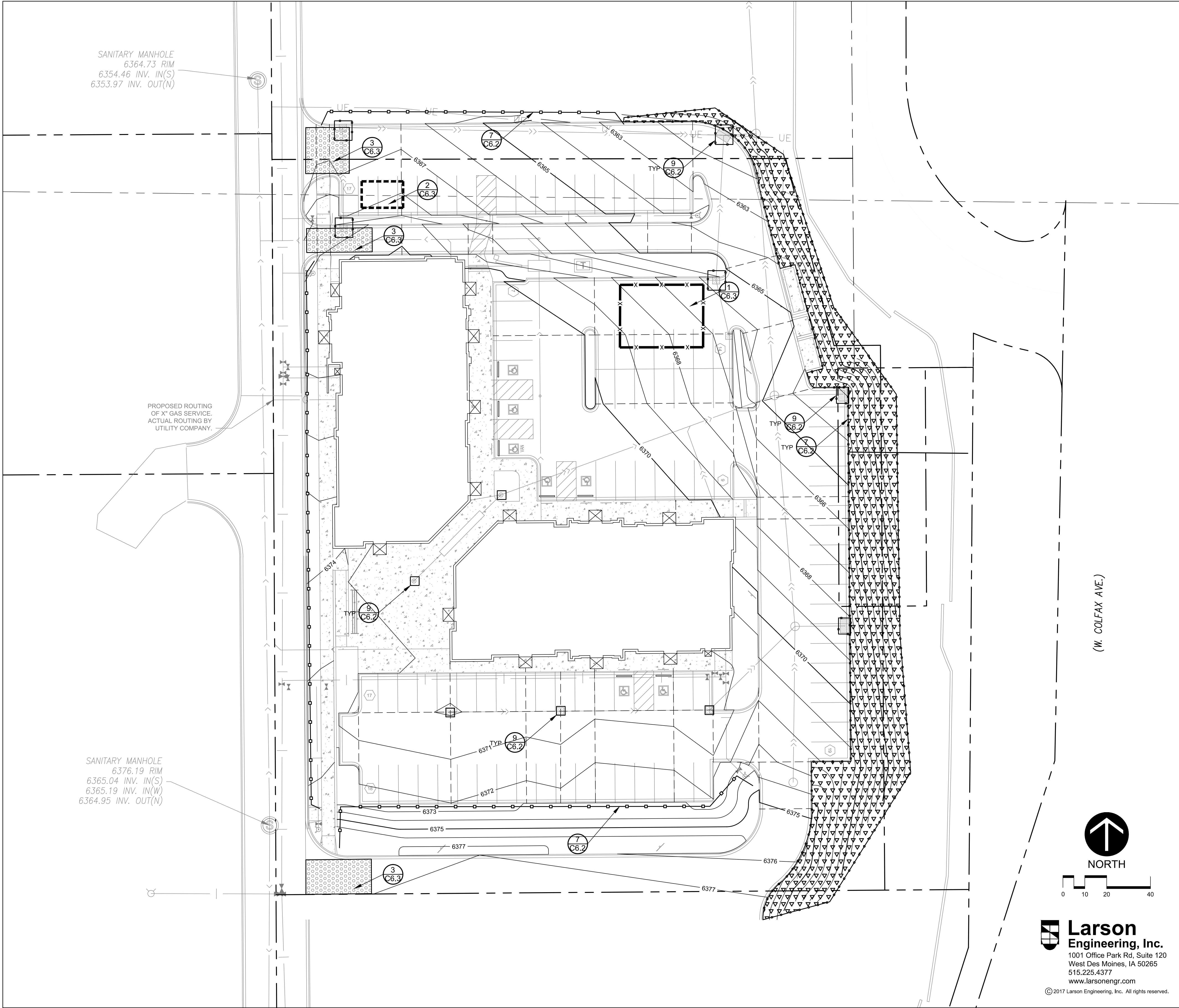
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DAVIS WINCE Ltd ARCHITECTURE	
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UTILITY PLAN NORTH

C4.1



LEGEND

- SILT FENCE
- RIP-RAP / ROCK CONST. ENTRANCE
- EROSION CONTROL BLANKET
- INLET PROTECTION
- CONCRETE WASHOUT STATION
- STABILIZED STAGING AREA

EROSION CONTROL NOTES

- The Stormwater Management Plan (SWMP) shall be kept onsite at all times.
- Stormwater quality best management practices shall be implemented to minimize soil erosion, sedimentation, increased pollutant loads and changed water flow characteristics resulting from land disturbing activity, the the maximum extent practicable, so as to minimize pollution of receiving waters.
- Erosion control measures shown on the erosion control plan are the absolute minimum. The contractor shall install temporary earth berms, sediment basins, additional siltation fencing, and/or disk the soil parallel to the contours as deemed necessary to further control erosion. All changes shall be recorded in the SWMP.
- All installation, inspection and maintenance of Best Management Practices (BMPs) must be consistent with the SWMP prepared by Stormwater Risk Management, dated 05/19/2017, and the City of Golden Stormwater Standards Manual.
- Final revegetation of the disturbed area shall conform to the SWMP and the City of Golden Stormwater Standards Manual.
- All exposed soil areas must be stabilized as soon as possible to limit soil erosion, but in no case later than 14 days after the construction activity in that portion of the site has temporarily or permanently ceased. Temporary stockpiles without significant silt, clay or organic components (e.g. clean aggregate, stockpiles, demolition concrete stockpiles, sand stockpiles) and the constructed base components of roads, parking lots and similar surfaces as exempt from this requirement.
- All storm sewer catch basins not needed for site drainage during construction shall be covered to prevent runoff from entering the storm sewer system. Catch basins required for site drainage during construction shall be provided with inlet protection.
- In area where concentrated flows occur (such as swales and areas in front of storm catch basins and intakes) the erosion control facilities shall be backed by stabilization structures to protect those facilities from concentrated flows.
- Temporary soil stockpiles must have silt fence or other effective sediment controls, and cannot be placed in surface waters, including stormwater conveyance such as curb and gutter systems or conduits and ditches, unless there is a bypass in place for the stormwater.
- If sediment escapes the construction site, off-site accumulations must be removed in a manner and at a frequency sufficient to minimize off-site impact. All soils tracked onto pavement shall be removed daily.
- Collected sediment, asphalt and concrete millings, floating debris, paper, plastic, fabric, construction and demolition debris and other wastes must be disposed of properly and must comply with Local and State disposal requirements.

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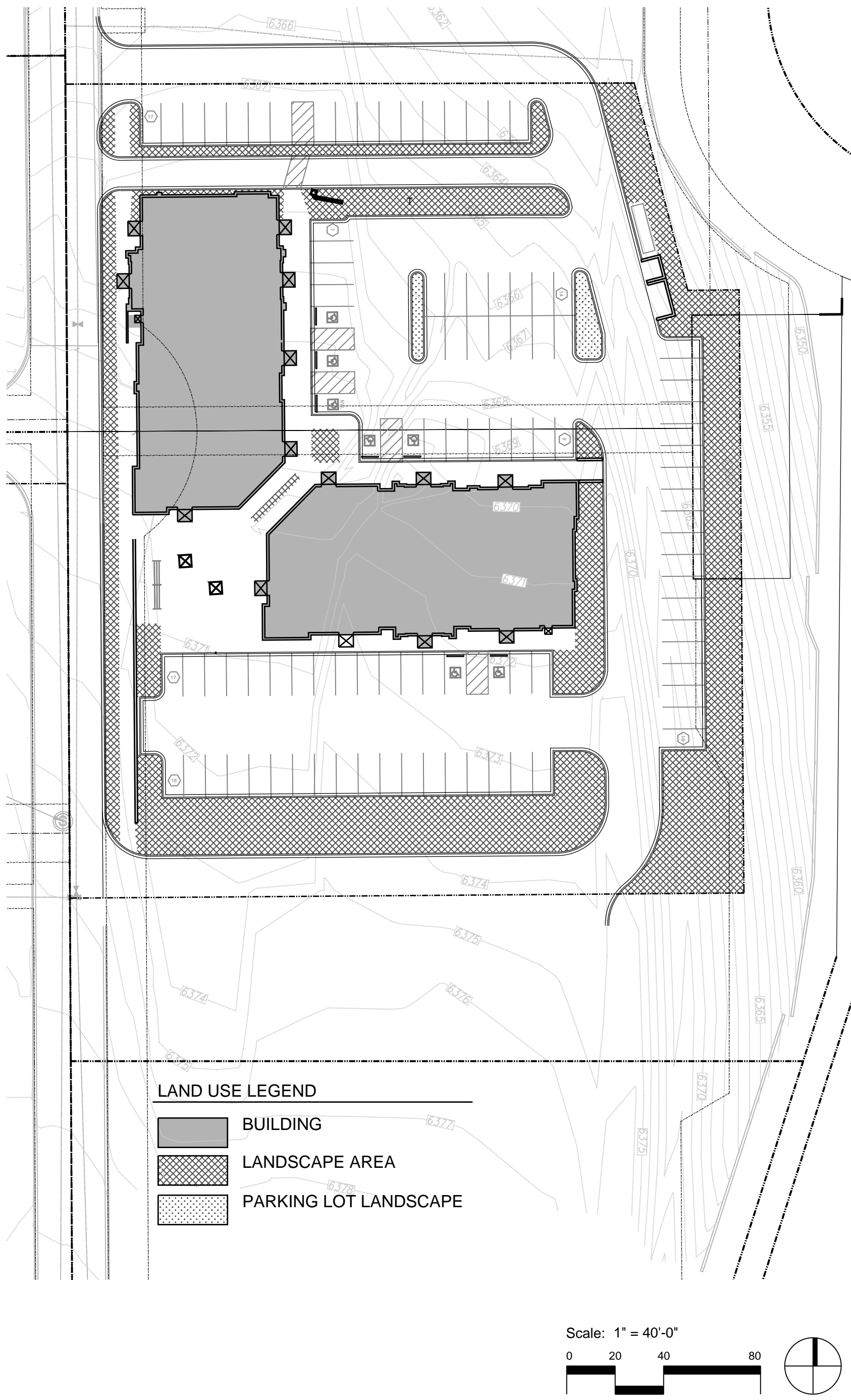
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EROSION CONTROL PLAN

C5.0

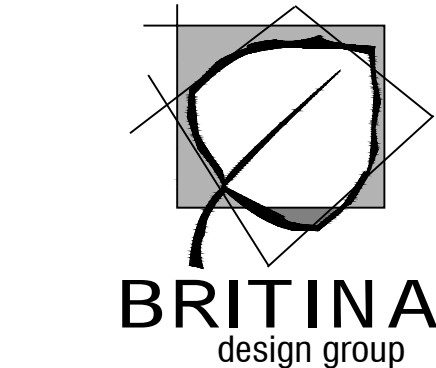


SOIL PREPARATION

- 1. Landscape Contractor shall be responsible for becoming familiar with all underground utilities, pipes and structures. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. The Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Call 811 Before You Dig.
- 2. Conflicts or discrepancies with grades shall be brought to the attention of the Owner's Representative immediately and prior to proceeding with work.
- 3. The contractor will be responsible for the rough grading, fine grading, installation of the soil amendments and sodding and seeding areas as specified.
- 4. If applicable, the contractor will stockpile all top soil generated during the rough grading of the site. In addition, fill areas will be stripped to a minimum depth of 6" and this top soil will be stockpiled for spreading later. The top soil generated by the rough grading and stripping will be spread to a minimum 6" depth in the disturbed areas and planting beds on the site.
- 5. All areas to be planted or sodded will have the top soil installed. These areas will then be tilled to a minimum 6" depth incorporating A-1 Organics Biocomp Class 1 compost at a minimum rate of 4 c.y. per 1,000 s.f.. The disturbed areas of the site will then be fine graded in preparation for sodding or planting as specified in the plans and specifications.
- 6. The Landscape Contractor shall notify Owner's Representative 72 hours prior to commencement of work to coordinate project inspection schedules.
- 7. Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish grading operations.
- 8. The Landscape Contractor shall be responsible for positive drainage throughout planting and turf areas, with accurately set flow lines. No low spots or ponding surface water, except where proposed, will be accepted in the final work.
- 9. Hold finished grades for shrub, groundcover, and perennial areas 1 inch below top of adjacent pavement, curbs, or edging unless noted otherwise on plans.
- 10. Gradually round off tops and toes of all planted slopes to produce a smooth and natural transition between level areas and slopes.
- 11. Final grades are to be approved by the Owner's Representative prior to installation of the irrigation and the landscaping.
- 12. If additional soil is required to bring the site to the finish grades, the import soil shall be topsoil approved by the Owner's Representative.
- 13. The contractor shall be responsible for the repair of any of their trenches or excavations that settle.

PLANTING NOTES

- 1. Landscape Contractor shall be responsible for making himself familiar with all underground utilities, pipes and structures. The Contractor shall be held responsible for contacting all utility companies for field location of all underground utility lines prior to any excavation. The Landscape Contractor shall take sole responsibility for any cost incurred due to damage of said utilities. Call Before You Dig: 1-800-922-1987
- 2. Do not willfully proceed with construction as designed when it is obvious that unknown obstructions and/or grade differences exist that may not have been known during design. Such conditions shall be immediately brought to the attention of the General Contractor and Owner's Representative. The Landscape Contractor shall assume full responsibility for all necessary revisions due to failure to give such notification.
- 3. If conflicts arise between actual size of areas and plan size areas, Landscape Contractor to contact Owner's Representative for resolution. Failure to make such conflicts known to the Owner's Representative will result in Contractor's liability to relocate materials.
- 4. The Landscape Contractor shall notify Owner's Representative 72 hours prior to commencement of work to coordinate project inspection schedules.
- 5. Landscape Contractor shall provide per unit costs (on the supplementary bid schedule) for every size of plant material, and by type as called out on Planting Plans. Unit cost to include the plant material installed including all labor, equipment, amendments, fertilizers, and other materials as detailed and specified for each size.
- 6. It is the Landscape Contractor's responsibility to furnish plant materials free of pests or plant diseases. Pre-selected or "tagged" material must be inspected by the Landscape Contractor and be certified pest and disease free. It is the Landscape Contractor's obligation to warranty all plant material for two years after final acceptance.
- 7. Landscape Contractor shall be responsible for any coordination with subcontractors as required to accomplish planting operations.
- 8. Provide matching sizes and forms for all plants used for hedges. Space equally as called for on plans.
- 9. Obtain an agricultural suitability analysis of the site soil from an accredited soils laboratory at the contractors cost. The analysis shall verify the suitability of the existing soils, analyze the existing soil texture and recommend additional soil amendments beyond those specified. Additional amendments recommended by the analysis beyond those specified shall be an additional cost. A minimum of one (1) sample shall be taken from the site. Location to be determined by the Owner's Representative. The soil amendments currently specified will be the minimum incorporated. Test Agency: Colorado State University Soil Testing Lab, A319-NESB, Fort Collins, CO 80523-1120 or other reputable lab.
- 10. Plant names are abbreviated on drawings. See plant list for key and classification.
- 11. Final location of all plant material shall be subject to the approval of the Owner's Representative.
- 12. All planting bed areas will receive a minimum of 3" of 1" to 2 " washed river rock - gray color over landscape fabric. The contractor is responsible for weed control on beds and seeded areas until final project acceptance. Trees in turf and seeded areas will be mulched with a minimum. depth of 2" of shredded bark mulch.
- 13. Tree plantings and planting beds will be treated with Diehard transplant (Trees) and Diehard bed prep (Planting beds). Micorrhiza Innoculants installed at the rate recommended by the manufacturer.
- 14. See details for planting requirements, materials, and execution.
- 15. Stake/Guy all trees as per detail for a period of one year.
- 16. All planting beds shall use Mirafi 140S, Typar Style 3401 by DuPont, DeWitt "Weed Barrier" or approved equal; 4 oz. per sq. yd. spun (not woven) polypropylene fabric.
- 17. Steel edging and stakes shall be by Ryerson, color: Black or approved equal.
- 18. All utility easements and emergency accesses shall remain unobstructed and fully accessible along their entire length for maintenance and emergency equipment and vehicles.
- 19. Contractor is responsible for restoring all disturbed landscape areas and repairing any damaged irrigation components and/or hardscape paving areas due to construction activity.
- 20. All plant material shall be acclimated to local conditions for minimum of 8 months before planting.
- 21. All mulch in planting beds to use 3" min. depth of 3/4" to 1-1/2" crushed granite, earth tone color. All trees in turf or seed areas to use 3" depth of shredded bark mulch in tree wells.



1615 CALIFORNIA STREET, SUITE 411 DENVER, CO 80202
landscape architecture urban design planning
phone: 303.456.2887 web: www.britina.com

REVISIONS		
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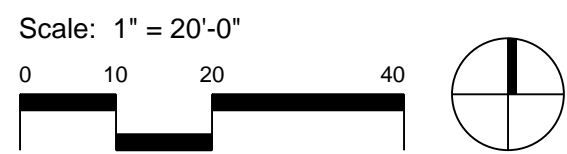
NOT FOR
CONSTRUCTION

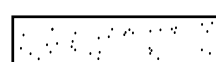
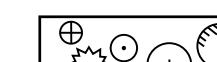


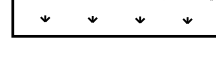


PREPARED FOR: GATEWAY VILLAGE RETAIL NORTHSTAR COMMERCIAL PARTNERS 70 MORRISON ROAD GOLDEN, CO 80401	
tel 614 785.0505 fax 614 785.0202	DAVIS WINCE ltd ARCHITECTURE 1466 Manning Parkway • Powell, OH 43065 www.daviswince.com

COMM. NO.
2017.15
PHASE:
SITE DEVELOPMENT
PLAN
DATE:
06.28.17



NOTES & LAND USE PLAN

L-1



	TURF SOD		SHRUBS, PERENNIALS & ORNAMENTAL GRASSES
	NATIVE SEED		SHADE TREE
	STEEL EDGING STANDARD BLACK COLOR		ORNAMENTAL TREE
			EVERGREEN TREE

PLANT LEGEND

Sym.	Botanic Name/Common Name	Size	Spacing	Sym.	Botanic Name/Common Name	Size	Spacing
<u>Deciduous Trees</u>				<u>Deciduous / Evergreen Shrubs</u>			
CK	Cladrastis kentukea American Yellowwood	2 1/2" cal.	As Shown	CAC	Caryopteris x clandonesis 'Blue Mist' Blue Mist Spirea	5 gal.	4' o.c.
CO	Corylus colurna Turkish Filbert	2 1/2" cal.	As Shown	PEA	Perovskia atriplicifolia Russian Sage	5 gal.	4' o.c.
GD	Gymnocladus dioicis 'Espresso' Espresso Kentucky Coffeetree	2 1/2" cal.	As Shown	PIP	Picea pугens 'Waldbrunn' Waldbrunn Spruce	5 gal.	4' o.c.
GT	Gleditsia triacanthos 'Imperial' Imperial Honeylocust	2 1/2" cal.	As Shown	POF	Potentilla fruticosa 'McKay's White' McKay's Ehiten Potentilla	5 gal.	3' o.c.
QA	Quercus robur x alba Crimsonspire Oak (limbed up 4')	2 1/2" cal.	As Shown	RKO	Rosa 'knock Out' Knock Out Rose	5 gal.	3' o.c.
QM	Quercus macrocarpa Bur Oak	2 1/2" cal.	As Shown	RUD	Rubus delicious Boulder Raspberry	5 gal.	4' o.c.
QR	Quercus rubra Northern Red Oak	2 1/2" cal.	As Shown	SJA	Spirea japonica 'Anthony Waterer' Anthony Waterer Spirea	5 gal.	3' o.c.
<u>Ornamental Trees</u>				<u>Ornamental Grasses</u>			
AC	Acer grandidentatum Bigtooth Maple	6' clump	As Shown	CAK	Calamagrostis acutiflora 'Karl Foerster' Feather Reed Grass	1 gal.	24" o.c.
MS	Malus 'Spring Snow' Spring Snow Crabapple	2" cal.	As Shown	MSP	Miscanthus sinensis purpurascens Purple Maiden Grass	1 gal.	24" o.c.
PC	Pyrus calleryana 'Chanticleer' Chanticleer Pear	2" cal.	As Shown	PVP	Panicum vigatum 'Prairie Sky' Blue Switch Grass	1 gal.	18" o.c.
<u>Evergreen Trees</u>				<u>Grasses</u>			
PN	Pinus nigra Austrian Pine	6' ht.	As Shown		Turf Sod - Bluegrass Blend		
					Native Seed - Foothills Mixture Arkansas Valley Seed 877-907-3337		

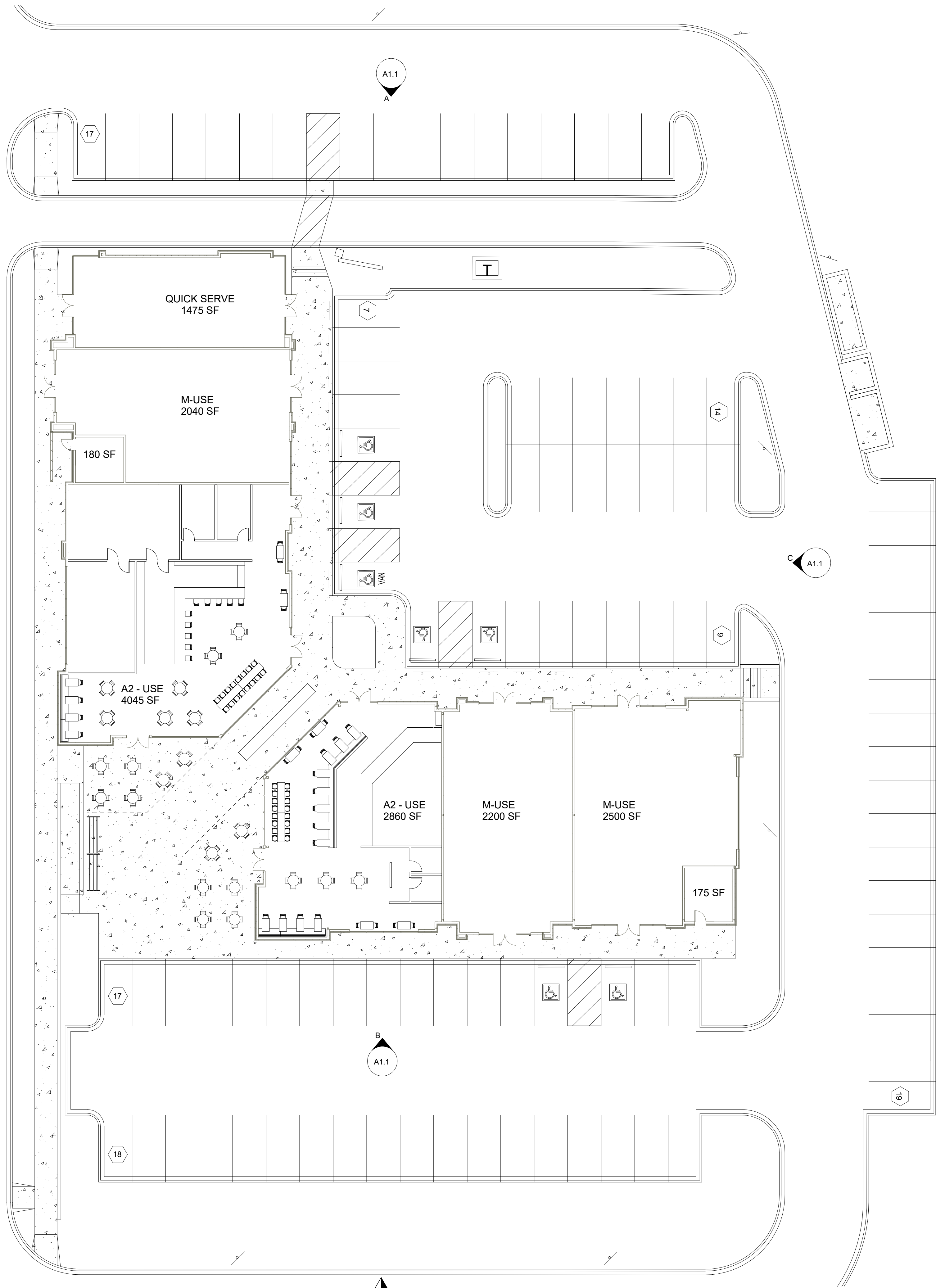
TREE REQUIREMENTS

ITEM	REQUIRED	PROVIDED
STREET TREES	9	8
PARKING LOT ISLANDS	4	4
PARKING LOT	20	16
SUB TOTAL	33	28
EXTRA TREES	7 (20%)	15
TOTAL TREES	40	43

Note:
All landscaped areas will be irrigated with an automatic irrigation system equipped with a rain sensor. All turf and seed areas will be irrigated with spray and rotor heads and all plants in planting beds and trees in turf and seed areas will be irrigated with drip irrigation.

[illegible]

1615 CALIFORNIA STREET, SUITE 411 DENVER, CO 80202
landscape architecture urban design planning
phone: 303.456.2887 web: www.britina.com



A PROPOSED TENANT PLAN

NEW WORK GENERAL NOTES

1. VERIFY EXISTING CONDITIONS BEFORE PROCEEDING WITH ANY WORK. NOTIFY THE ARCHITECT IF CONDITIONS ENCOUNTERED DIFFER FROM CONDITIONS ON THE DRAWINGS.
2. DIMENSIONS FOR PARTITIONS ARE TO THE FACE OF THE OUTSIDE EXPOSED MATERIAL.
3. CONTRACTOR SHALL ACCEPT PROJECT CONDITIONS AS IS AND WILL BE RESPONSIBLE FOR ALL PATCHING AND REPAIRING REQUIRED TO FACILITATE NEW WORK. PATCHING AND REPAIRING INCLUDE, BUT IS NOT LIMITED TO, WALL PENETRATIONS, FLOOR PATCHING, FLOOR LEVELING, ETC.
4. CONTRACTOR SHALL PROVIDE FIRE TREATED WOOD BLOCKING FOR THE MOUNTING OF ALL WALL ACCESSORIES, CASEWORK, EQUIPMENT, ETC. REFER TO THE ACCESSORY MOUNTING HEIGHTS CHART ON SHEET G1.1 FOR TYPICAL MOUNTING HEIGHTS. COORDINATE WITH THE APPROPRIATE TRADE, SUBCONTRACTOR, AND/OR MANUFACTURER AS NEEDED. CONSULT THE ARCHITECT FOR ANY CLARIFICATIONS.
5. DOOR FRAMES ARE TO BE LOCATED 4" FROM ADJACENT WALL, UNLESS NOTED OTHERWISE.
6. CONTRACTOR SHALL PROVIDE TRANSITION STRIPS AND TERMINATION STRIPS AT CHANGES IN FLOORING MATERIAL TO ASSURE A SMOOTH TRANSITION OF FINISHES. WHERE APPROPRIATE, TRANSITIONS SHOULD BE AT THE CENTER OF THE DOOR, NOT THE FRAME.
7. MOUNT ALL FIRE EXTINGUISHERS AND FIRE EXTINGUISHER CABINETS SO THAT THE EXTINGUISHER HANDLE IS WITHIN ADA COMPLIANT REACH RANGES.

PLAN LEGEND

	EXISTING WALLS TO REMAIN		NEW DOOR AND FRAME, SEE DOOR SCHEDULE
	NEW PARTITION		EXISTING DOOR AND FRAME TO REMAIN
	MASONRY WALL		NEW WINDOW AND FRAME
	FIRE RATED PARTITIONS HAVE CROSS-HATCH FILL PATTERN		

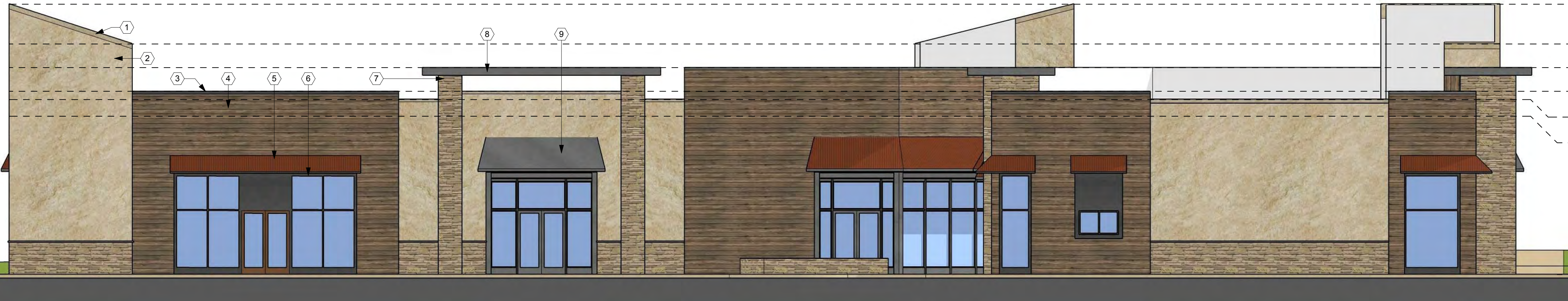
REVISIONS			
NO.	DATE	DESCRIPTION	
PREPARED FOR:			COMM. NO.
GATEWAY VILLAGE RETAIL			2017.15
NORTHSTAR COMMERCIAL PARTNERS			PHASE:
70 MORRISON ROAD			CONSTRUCTION
GOLDEN, CO 80401			DOCUMENTS
PREPARED BY:			DATE:
tel 303.893.0505			06.28.2017
fax 303.433.4988			
DAVIS WINCE <i>ltd</i>			
ARCHITECTURE			
1764 Platte Street • Denver, CO 80202			
www.daviswincc.com			
SHEET TITLE:			SHEET NO.:
PROPOSED TENANT PLAN			A1.0

EXTERIOR ELEVATION GENERAL NOTES

1. FINISH FLOOR SLAB = 6,373.00'

- +34'-0" AFF
T.O. TOWER HIGH
- +29'-0" AFF
T.O. TOWER LOW
- +26'-0" AFF
T.O. CANOPY
- +23'-0" AFF
T.O. HIGH PARAPET
- +22'-0" AFF
T.O. LOW PARAPET
- +20'-0" AFF
T.O. ROOF

6373'-0"
FINISH FLOOR



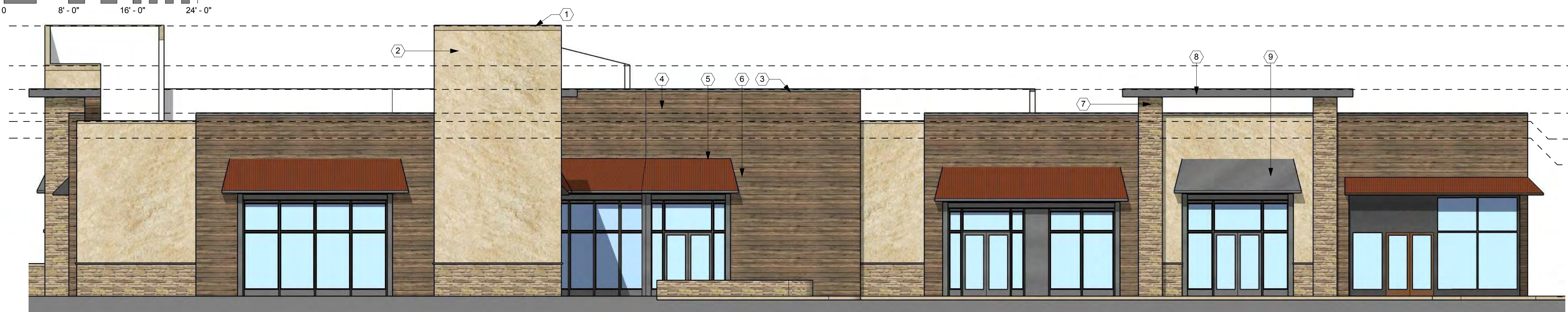
A NORTH ELEVATION

0 8'-0" 16'-0" 24'-0"



B SOUTH ELEVATION

0 8'-0" 16'-0" 24'-0"



C EAST ELEVATION

0 8'-0" 16'-0" 24'-0"



D WEST ELEVATION

0 8'-0" 16'-0" 24'-0"

KEYNOTES - EXTERIOR ELEVATION

NUMBER	KEYNOTE TEXT
1	CAST STONE PARAPET CAP, COLOR TO MATCH EIFS.
2	EIFS, DRYVIT, TEXTURE: SANDEBBLE FINE, COLOR: 105 SUEDE
3	METAL PARAPET CAP, TO MATCH STOREFRONT COLOR.
4	NICHIHA VINTAGE WOOD FIBER CEMENT PANELS
5	CORRUGATED METAL CANOPY
6	STOREFRONT, DARK BRONZE ANODIZED FINISH
7	STACKED STONE, SUNSET STONE INC., VAIL VALLEY
8	METAL CANOPY, DARK BRONZE ANODIZED FINISH
9	FABRIC AWNING

- +34'-0" AFF
T.O. TOWER HIGH
- +29'-0" AFF
T.O. TOWER LOW
- +26'-0" AFF
T.O. CANOPY
- +23'-0" AFF
T.O. HIGH PARAPET
- +22'-0" AFF
T.O. LOW PARAPET
- +20'-0" AFF
T.O. ROOF

6373'-0"
FINISH FLOOR

- +34'-0" AFF
T.O. TOWER HIGH
- +29'-0" AFF
T.O. TOWER LOW
- +26'-0" AFF
T.O. CANOPY
- +23'-0" AFF
T.O. HIGH PARAPET
- +22'-0" AFF
T.O. LOW PARAPET
- +20'-0" AFF
T.O. ROOF

6373'-0"
FINISH FLOOR

REVISIONS		
NO.	DATE	DESCRIPTION

PREPARED FOR:
GATEWAY VILLAGE RETAIL
NORTHSTAR COMMERCIAL PARTNERS
70 MORRISON ROAD
GOLDEN, CO 80401

tel 303 893.0505
fax 303 433.4988

PREPARED BY:
DAVIS WINCE Ltd
ARCHITECTURE
1764 Platte Street • Denver, CO 80202
www.daviswince.com

COMM. NO.
2017.15
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SITE DEVELOPMENT
PLAN
DATE:
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BUILDING ELEVATIONS

A1.1



RENDERING @ PLAZA



RENDERING @ PARKING



RENDERING @ PLAZA


REVISIONS			
NO.	DATE	DESCRIPTION	
PREPARED FOR: GATEWAY VILLAGE RETAIL NORTHSTAR COMMERCIAL PARTNERS 70 MORRISON ROAD GOLDEN, CO 80401			COMM. NO. 2017.15
PREPARED BY: DAVIS WINCE Ltd ARCHITECTURE 1764 Platte Street • Denver, CO 80202 www.daviswincc.com			PHASE: SITE DEVELOPMENT PLAN DATE: 04.28.2017
tel 303 893.0505 fax 303 433.4988			SHEET NO.: A2.1
SHEET TITLE: RENDERINGS			

ZANEEN

Draco - Wall
Model No: D8-3323

TYPE A

Date: _____ Project: _____
Fixture Type: _____ Specifier/Rep: _____



10 cm
4"

10 cm
4"

10 cm
4"

Certified by CSA certified, listed to UL & CSA
Approved International Manufacturers to specify MDP as a brand of a mounting field
Exact Measurements: Metric

Model: D8-3323
New: Yes
Installation: Surface - Wall
Light Color: Warm White
Color: 3000K
Temperature: 3000K
Nominal Lumen: 2 x 195lm
Delivered Lumen: 2x183.44lm
CRI: 80
Fixture Finish: White
Lamp Type: LED
Total Wattage: 6W
Lamp Voltage: 120Vac
IP Rating: IP54
Length: 10cm / 4"
Height: 10cm / 4"
Extension: 10cm / 4"
Power Supply: Integral LED driver, 350mA (Dimming and 277V options available with remote driver sold separately)

LED 3000K 2x3W 120V

Temp	CRP	Met.Lm	Met.Lm	Met.Lm	Met.Lm
1000	0.96	176	74		
2000	1.73	44	18		
3000	2.39	26	8		
4000	3.46	11	3		
5000	4.32	7	2		

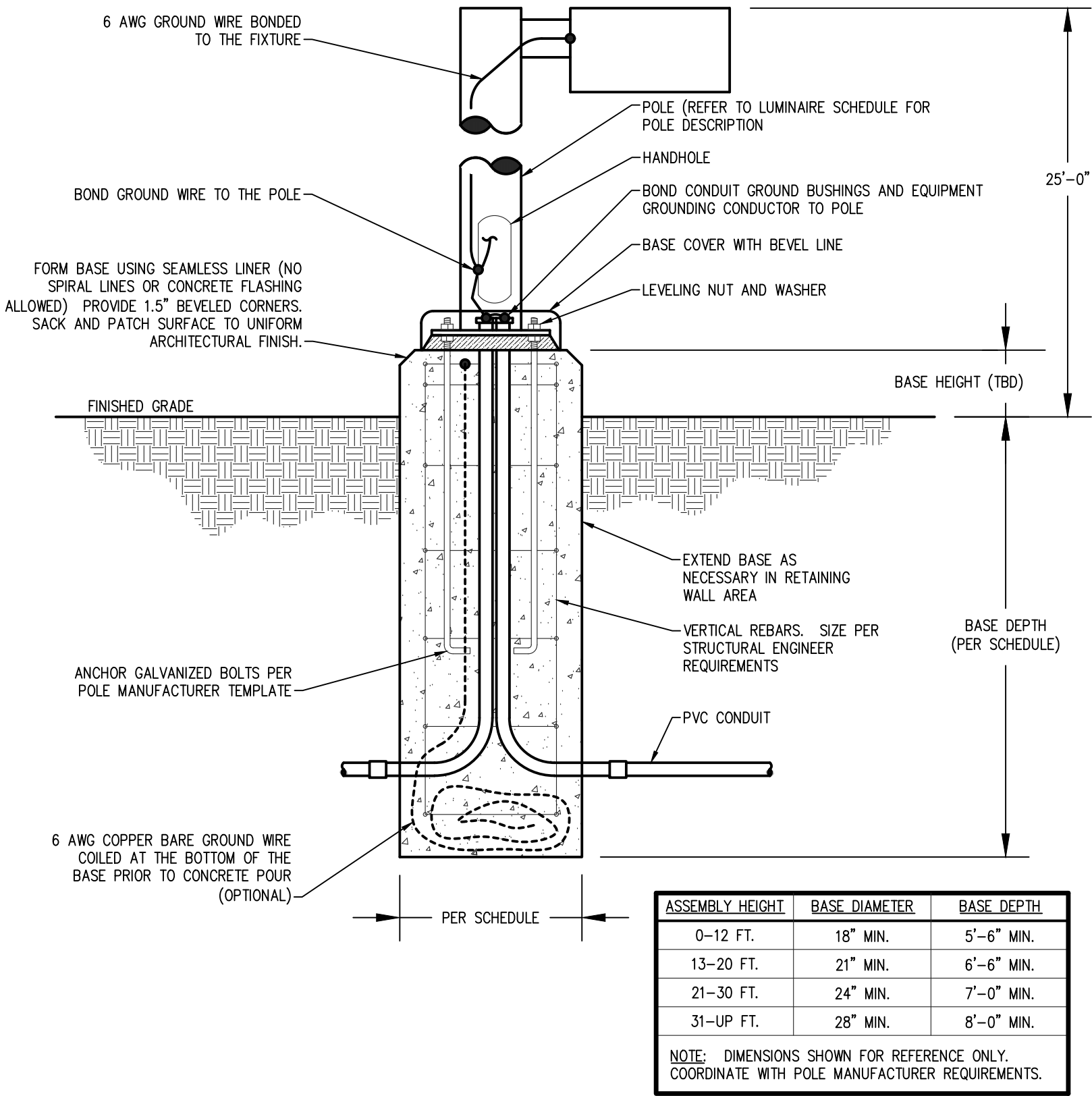
Angular Glance: 180°

Additional Details
Direct and indirect light distribution with variable optics with use of adjustable louvers.

Alternative Finish Models

Draco - Wall - (D8-3324) - 10cm / 4" - 6W - LED - 3000K - Metalized Gray
Draco - Wall - (D8-3325) - 10cm / 4" - 6W - LED - 3000K - Metalized Brown

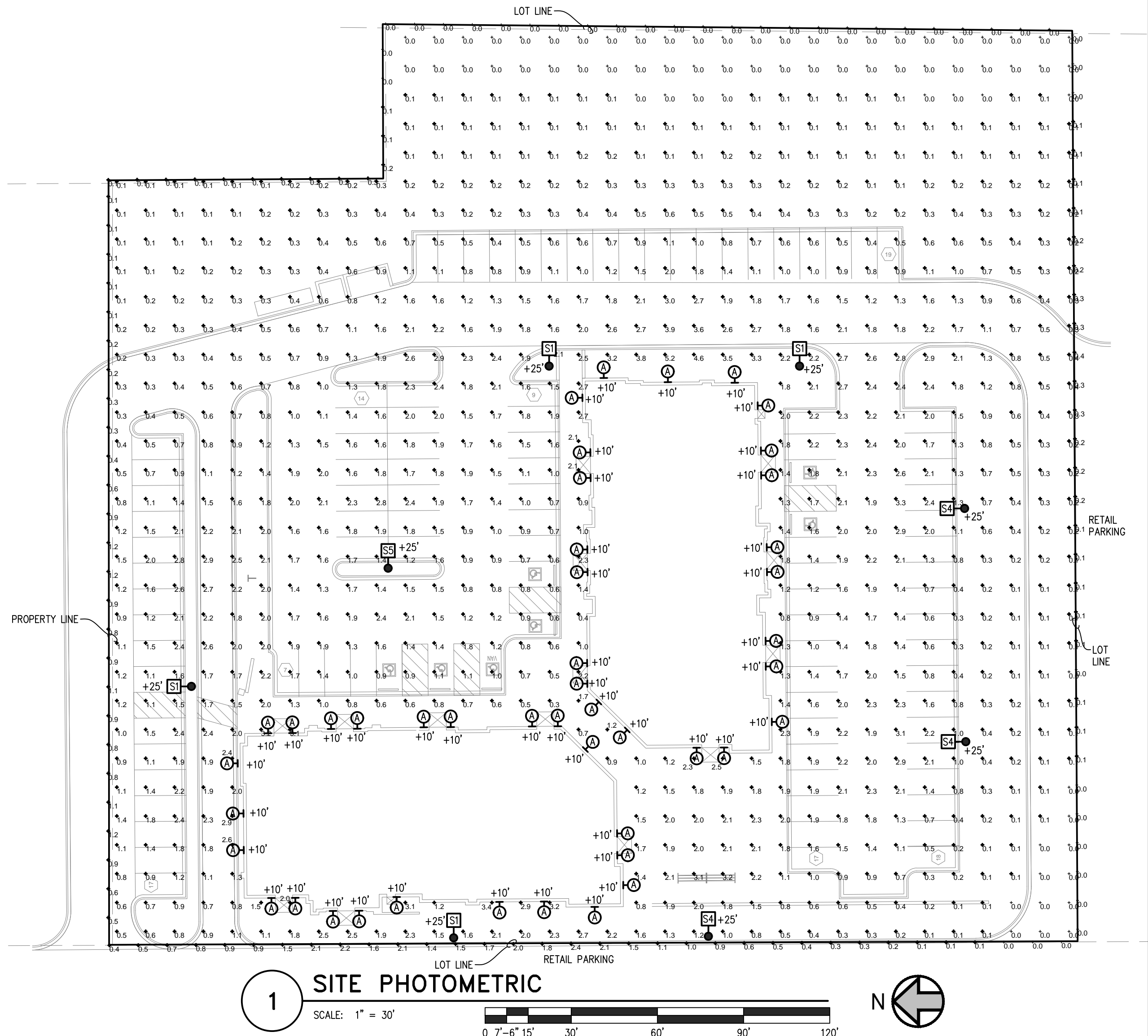
30 Tyros Dr. Toronto, ON Canada M6B 1V9 PH: 800.388.3382 / 416.247.9221 FAX: 416.247.9319 www.zaneen.com, tech@zaneen.com Page 1 of 2



A LIGHT POLE MOUNTING DETAIL

SCALE: NO SCALE

NOTE: COORDINATE DETAIL SHOWN WITH PROJECT STRUCTURAL ENGINEER. NO WORK SHOULD BE PERFORMED WITHOUT STRUCTURAL ENGINEER APPROVAL.



LUMINAIRE SCHEDULE							
TYPE	LAMPS	DESCRIPTION	DIMMING TYPE	MOUNTING	LOAD, VA	VOLTS	MANUFACTURER/ CATALOG NO.
A	LED 3000K	DECORATIVE UP/DOWN WALL SCONCE		SURFACE	6	120	ZANEEN: D8-3323
S1	LED 4200K	POLE-MOUNTED FIXTURE WITH TYPE-1 DISTRIBUTION AND 120 DIODES		POLE	135	208	KIM LIGHTING: 1SA-ALTIP35-120L3K208-A25-7
S4	LED 4200K	POLE-MOUNTED FIXTURE WITH TYPE-4 DISTRIBUTION AND 120 DIODES		POLE	135	208	KIM LIGHTING: 1SA-ALT4P35-120L3K208-A25-7
S5	LED 4200K	POLE-MOUNTED FIXTURE WITH TYPE-5 DISTRIBUTION AND 120 DIODES		POLE	135	208	KIM LIGHTING: 1SA-ALT5P35-120L3K208-A25-7
GENERAL NOTE: VERIFY FIXTURE CATALOG NUMBER, FINISH, LENGTH, LAMPS SELECTION, AND ADDITIONAL INSTALLATION REQUIREMENTS WITH ARCHITECT/OWNER PRIOR TO ORDERING. LIGHT FIXTURE SUBSTITUTIONS OF EQUAL QUALITY AND PERFORMANCE WILL BE ACCEPTED WITH PRIOR OWNER/ARCHITECT APPROVAL. COORDINATE DIMMING TYPE AND DIMMERS COMPATIBILITY WITH FIXTURE PROVIDER. NO SHARED NEUTRAL IS ALLOWED FOR DIMMING SWITCH LEGS. DIMMING TYPE SHOWN AS "DIM" INDICATES THAT FIXTURE IS DIMMABLE, BUT ENGINEER HAS NO INFORMATION ABOUT USED TYPE OF DIMMING. SYMBOL "*" IN CATALOG NUMBER INDICATES OPTIONS, TRIM, FINISH, AND COLOR SELECTIONS TO BE COORDINATED WITH ARCHITECT OR OWNER.							

EXTERIOR LIGHTING OPERATION REQUIREMENTS

- ALL OUTDOOR LIGHTING NOT NECESSARY FOR SECURITY PURPOSES SHALL BE TURNED OFF DURING NOT-OPERATIONS HOURS. LIGHTING NECESSARY FOR PUBLIC HEALTH, SAFETY AND WELFARE PURPOSES MAY BE ACTIVATED BY MOTION SENSING DEVICES. ALL OUTDOOR LIGHTING ON PRIVATE PROPERTY SHALL BE TURNED OFF BETWEEN 11:00 PM AND SUNRISE UNLESS EXEMPTED
- LIGHTING MAY REMAIN ON WHILE THE BUSINESS FACILITY IS OPEN TO THE PUBLIC.
- LIGHTING MAY REMAIN ON WHILE IT IS USED FOR SECURITY PURPOSES OR TO ILLUMINATE WALKWAYS, ROADWAYS, DRIVEWAYS, EQUIPMENT OR STORAGE YEARS, AND PARKING LOTS WHERE ACCESSIBLE AT NIGHT, AS APPROVED BY CITY AUTHORITIES.

PHOTOMETRIC CALCULATION DISCLAIMER

- LIGHTING PATTERN USED FOR LUMINAIRES REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY LUMINAIRE MAY VARY DUE TO VARIATION IN VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD AND EQUIPMENT CONDITIONS.
- CALCULATIONS ARE USING POINT-TO-POINT METHOD WITH TEN FEET DISTANCE BETWEEN CALCULATION GRID POINTS. SOFTWARE USED: VISUAL 2016.
- THE IESNA STANDARDS REPRESENT THE LOWEST ACCEPTABLE LEVELS FOR PROPER VISIBILITY AND RECOMMEND MINIMUM MAINTAINED LIGHT LEVELS FOR OPEN PARKING LOTS AT 0.2-0.5 FOOT CANDLES LEVEL FOR ENHANCED SECURITY CONDITIONS.

EXTERIOR LIGHTING DESIGN CONCEPTS

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Lot line	+	0.4 fc	2.4 fc	0.0 fc	N/A	N/A
Site	+	0.9 fc	5.2 fc	0.0 fc	N/A	N/A

REVISIONS		
NO.	DATE	DESCRIPTION

PREPARED FOR: GATEWAY VILLAGE RETAIL NORTHSTAR COMMERCIAL PARTNERS 70 MORRISON ROAD GOLDEN, CO 80401		June 28, 2017
PREPARED BY: DAVIS WINCE ltd ARCHITECTURE 1466 Manning Parkway • Powell, OH 43065 www.daviswince.com		COMM. NO. 2017.15
tel 614 785.0505 fax 614 785.0202		PHASE: SITE DEVELOPMENT PLAN
SHEET TITLE: SITE PHOTOMETRIC		DATE: 04.27.17
SHEET NO.:		E1.0

