

MINER'S POINT
SITE DEVELOPMENT PLAN
12TH STREET AND JACKSON

LOT 4 GOLDEN STATION MINOR REPLAT NO. 2, AS CORRECTED BY CORRECTIVE PLAT OF GOLDEN GATEWAY STATION MINOR REPLAT NO. 2
LOCATED IN THE SW 1/4 OF SECTION 27, TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M.
CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
COVER SHEET AND VICINITY
PAGE 1 OF 7

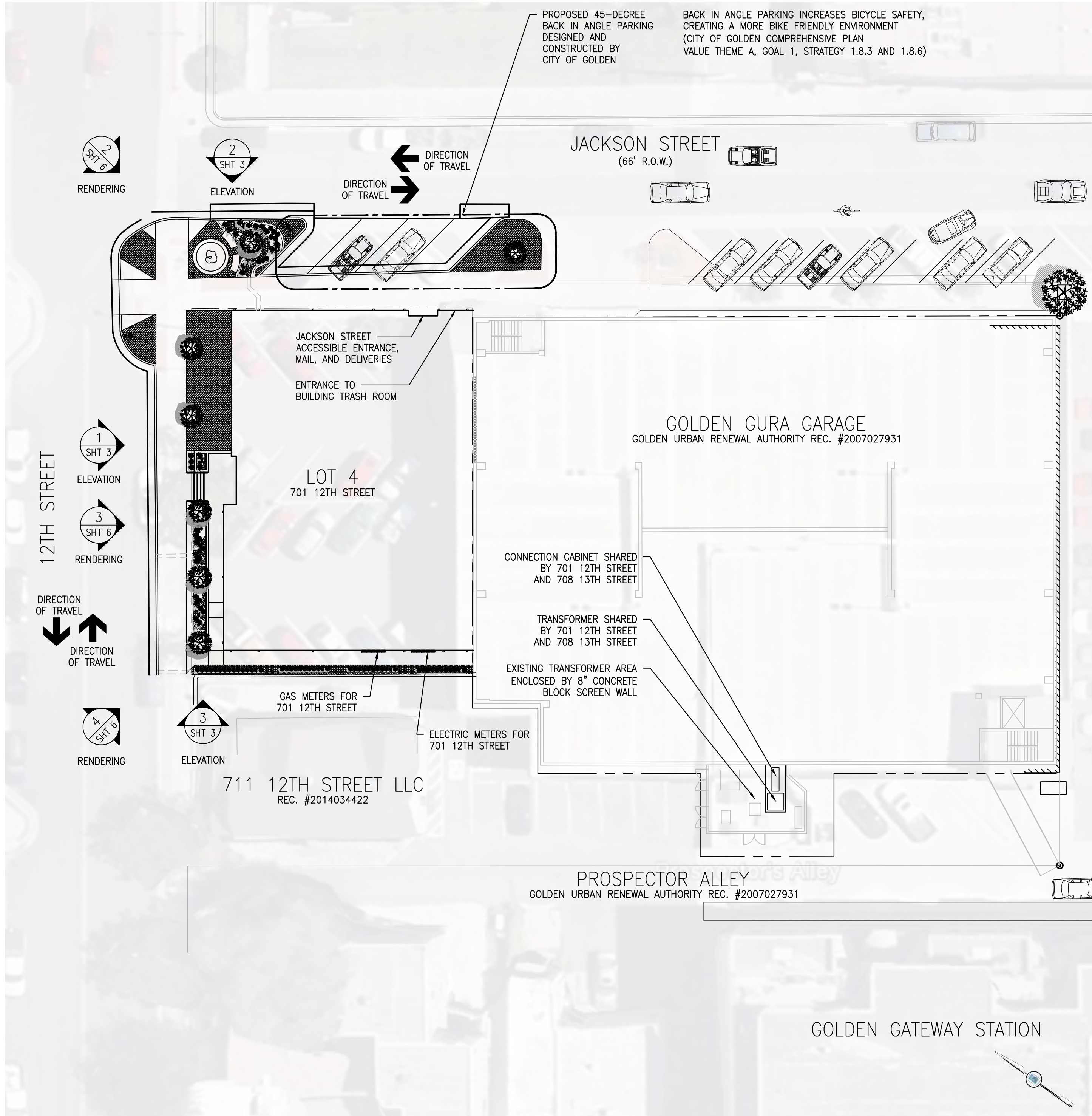


1 PROJECT LOCATION
SCALE: NO SCALE

ZONING AND INTENDED USE	
ZONING	C-2
INTENDED USE	MIXED USE BUILDING CONSISTING OF COMMERCIAL USES ON LEVELS 1 AND 2, AND RESIDENTIAL UNITS ABOVE ON LEVELS 3 AND 4.

% CONTRIBUTION OF COMMERCIAL AND RESIDENTIAL COMPONENTS, BY LEVEL, AND TOTAL, FLOORS 1 THROUGH 4				
GROSS FLOOR AREA	SQUARE FEET	COMMERCIAL % CONTRIBUTION FLOORS 1-4	RESIDENTIAL % CONTRIBUTION FLOORS 1-4	# DWELLING UNITS
LEVEL 1	6,290.89	27.23%		
LEVEL 2	6,290.89	27.23%		
LEVEL 3	5,930.21		25.67%	3
LEVEL 4	4,588.03		19.86%	2
TOTALS, LEVELS 1-4	23,100.02	54.47%	45.53%	5
RESIDENTIAL DWELLINGS ARE ALLOWED ONLY IN A MIXED USE BUILDING CONSISTING OF AT LEAST 25% NON-RESIDENTIAL (COMMERCIAL) USES.				
REF: MC 18.28.160 USES PERMITTED BY RIGHT IN THE C2 DISTRICT, MC 18.28.150 USES PERMITTED BY RIGHT IN THE C1 DISTRICT				

LOT 4 - SETBACKS AND BUILDING HEIGHT		
	C-2	
	GENERAL COMMERCIAL	
	REQUIRED	PROVIDED
MINIMUM FRONT SETBACK (FT. FROM PROPERTY LINE)	0*	8.27
MINIMUM SIDE SETBACK, WEST (FT. FROM PROP. LINE)	0	6.71
MINIMUM SIDE SETBACK, EAST (FT. FROM PROP. LINE)	0	0.39
MINIMUM REAR SETBACK (FT.)	0	0
MINIMUM REAR SETBACK FROM ALLEY (FT.)	5	N/A
MAXIMUM HEIGHT OF BUILDINGS (FT.)	50	50
* (MC 18.40.714.1)		



2 VICINITY
SCALE: 1" = 20' - 0"

LOT 4 - GROSS FLOOR AREA		
LEVEL	INTERIOR	BALCONY
BELOW GRADE PARKING	6,319.67 SF	
LEVEL 1	6,290.89 SF	
LEVEL 2	6,290.89 SF	
LEVEL 3	5,930.21 SF	361.23 SF
LEVEL 4	4,588.03 SF	1,703.73 SF
TOTAL GROSS FLOOR AREA	29,419.69 SF	2,064.96 SF

INDEX OF DRAWINGS	
1 OF 7	COVER SHEET, PROJECT LOCATION & VICINITY
2 OF 7	SITE PLAN AND LANDSCAPE ELEVATIONS
3 OF 7	BUILDING ELEVATIONS
4 OF 7	GRADING, DRAINAGE AND EROSION CONTROL PLAN
5 OF 7	UTILITY PLAN
6 OF 7	BUILDING PERSPECTIVES
7 OF 7	PHOTOMETRICS

LEGAL DESCRIPTION

LOT 4, GOLDEN GATEWAY STATION MINOR REPLAT NO. 2, AS CORRECTED BY CORRECTIVE PLAT OF GOLDEN GATEWAY STATION MINOR REPLAT NO. 2, AS RECORDED APRIL 4, 2008 AT RECEPTION NO. 2008032371, AND EXCEPTING THERE FROM THAT PORTION OF SAID LOT 4 WHICH IS NOW A PART OF THE GATEWAY STATION CONDOMINIUMS ACCORDING TO THE CONDOMINIUM DECLARATION AS RECORDED MAY 9, 2008 AT RECEPTION NO. 2008045613, AND THE CONDOMINIUM MAP AS RECORDED MAY 9, 2008 AT RECEPTION NO. 2008045614, CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO.

LOT 4 - PARKING DATA

SITE INFO	REQUIRED	PROVIDED
LEVEL 1 (6,290.89 SF) * (1/350) = 17.97	18 ¹	
LEVEL 2 (6,290.89 SF) * (1/350) = 17.97	18 ¹	
LEVEL 3 UNIT #1, 2 BEDROOM = 1.5	1.5 ²	
LEVEL 3 UNIT #2, 2 BEDROOM = 1.5	1.5 ²	
LEVEL 3 UNIT #3, 3 BEDROOM = 2	1.5 ²	
LEVEL 4 UNIT #4, 2 BEDROOM = 1.5	1.5 ²	
LEVEL 4 UNIT #5, 2 BEDROOM = 1.5	1.5 ²	
TOTAL PARKING SPACES REQUIRED, BASIC BUILDING	43.5 (≈44)	
ON SITE PARKING SPACES		14 ³
OFF SITE PARKING SPACES		37*
TOTAL, ON & OFF SITE PARKING SPACES PROVIDED		51**

UP TO 7 PARKING SPACES (51 PROVIDED** - 44 REQUIRED) ARE AVAILABLE FOR A USE IN THE FUTURE

¹ COMMERCIAL. ONE PARKING SPACE FOR EACH THREE HUNDRED FIFTY SQUARE FEET (MC 18.36.025.2)

² MULTI-FAMILY RESIDENCE. EACH DWELLING UNIT SHALL BE PROVIDED WITH ONE AND ONE-HALF PARKING SPACES FOR EACH UNIT THAT HAS ONE OR TWO BEDROOMS AND TWO PARKING SPACES FOR EACH UNIT THAT HAS THREE OR MORE BEDROOMS. (MC 18.36.025.2)

³ BELOW GRADE, TO PROMOTE ACTIVE USES AT THE SIDEWALK LEVEL (MC 18.40.682.3)

* UP TO THIRTY SEVEN (37) CAR PARKING SPACES ARE AVAILABLE THROUGH APPROVED "RESOLUTION NO. 2360 - A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF GOLDEN CONDITIONALLY AUTHORIZING THE ACCEPTANCE OF FEES IN LIEU OF A PORTION OF PARKING REQUIRED FOR A PROJECT AT 701 12TH STREET"

** UP TO FIFTY ONE (51) CAR PARKING SPACES ARE AVAILABLE. SEE NOTE, ABOVE, REGARDING THE 37 CAR PARKING SPACES IN RESOLUTION NO. 2360.

OWNER:

MINER'S POINT, LLC, A COLORADO LIMITED LIABILITY COMPANY

NOTARY:

STATE OF COLORADO)
COUNTY OF JEFFERSON)SS

THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS ____ DAY OF ____, 20__, BY GOLDEN WEST OFFICE, LLC AS _____ OF _____

WITNESS MY HAND AND OFFICIAL SEAL

BY:

MY COMMISSION EXPIRES _____
NOTARY PUBLIC

CITY OF GOLDEN PLANNING COMMISSION:

APPROVED BY THE CITY OF GOLDEN PLANNING COMMISSION
THIS ____ DAY OF _____, 20__

CHAIRMAN

SECRETARY



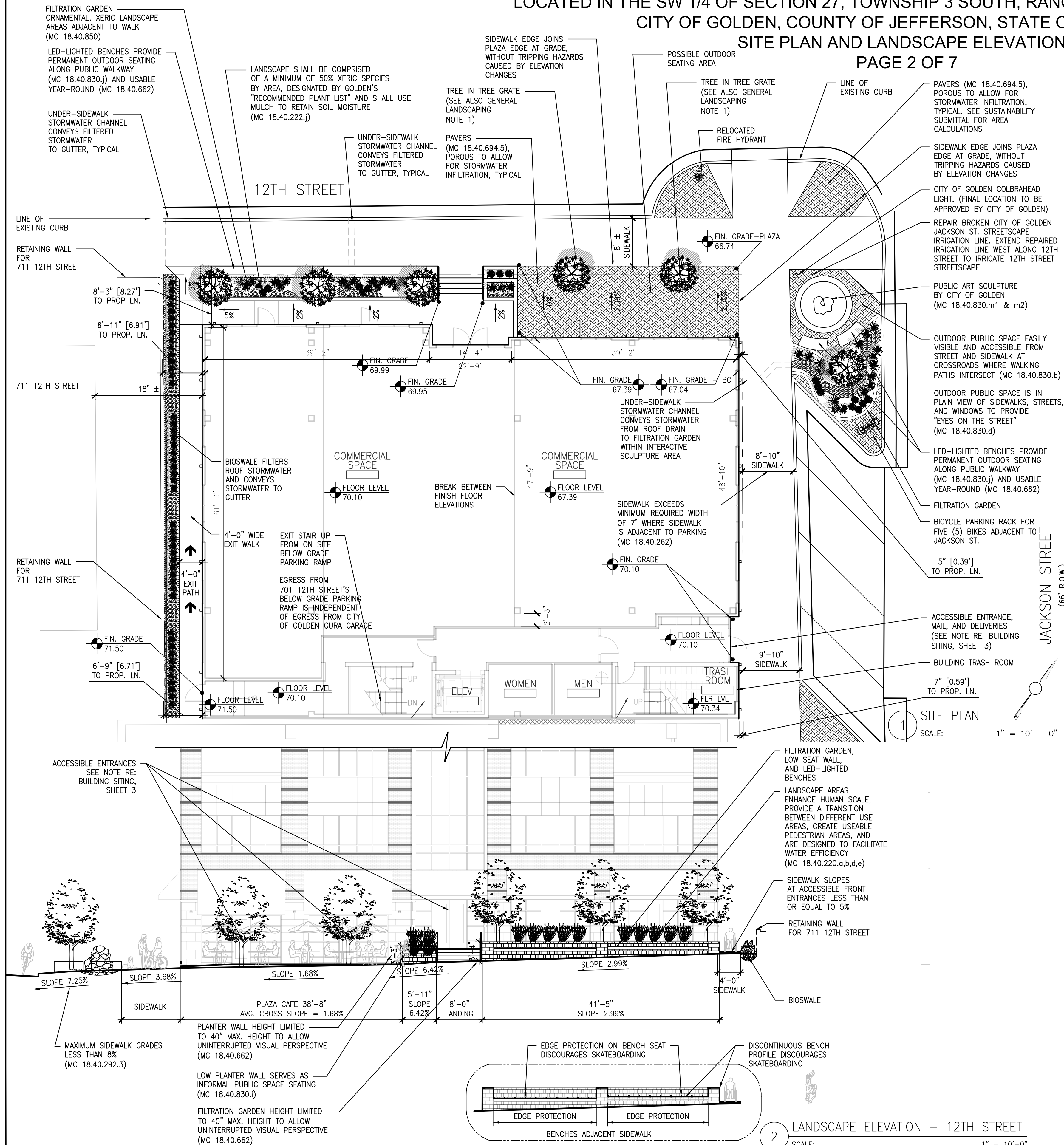
BEFORE YOU DIG
FOR BURIED CABLE LOCATIONS
CALL UN.C.C. - 800-468-1307
1-800-922-1307

SHEET: 1 OF 7	BY	DATE	REVISION	PROJECT:	TITLE:	FOR:
JOB NO.	JH	01/07/15	1 CITY COMMENTS 12/30/14	MINER'S POINT	COVER SHEET AND VICINITY	MINER'S POINT, LLC
DRAWING NO.	JH	01/21/15	2 CITY COMMENTS 01/13/15			
SCALE AS NOTED						
DATE: 12/23/14						
DESIGN BY: AL						
DRAWN BY: AL						
CHECKED BY: AL						

MINER'S POINT
SITE DEVELOPMENT PLAN
12TH STREET AND JACKSON

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CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO

SITE PLAN AND LANDSCAPE ELEVATIONS
PAGE 2 OF 7



LOT 4 - SITE DATA		
SITE INFO		
SITE AREA	7,828.00 SF	0.180 AC
BUILDING COVERAGE	6,290.06 SF	0.144 AC
PARKING LOT COVERAGE	0.00 SF	0.00 AC
PARKING LOT LANDSCAPE AREA	0.00 SF	0.00 AC
TOTAL LANDSCAPE AREA COVERAGE*	369.77 SF	0.008 SF
* RIGHT-OF-WAY AND PUBLIC AREA LANDSCAPING NOT INCLUDED IN CALCULATION		

GENERAL LANDSCAPE NOTES	
1. STREET TREES: STREET TREES TO EMPHASIZE PASSIVE SOLAR GAIN. (MC 18.40.221.2) ALL TREES TO BE 2-1/2" CALIPER, MIN. (MC 18.40.222.D.1), SELECTED FROM "RECOMMENDED PLANT LIST FOR DOWNTOWN AREAS" (MC 18.40.694.4.A) AND APPROVED BY THE CITY.	
2. LANDSCAPING: LANDSCAPE SHALL BE COMPRISED OF A MINIMUM OF 50% XERIC SPECIES BY AREA, DESIGNATED BY GOLDEN'S "RECOMMENDED PLANT LIST" AND SHALL USE MULCH TO RETAIN SOIL MOISTURE.(MC 18.40.222.J)	

MINER'S POINT, LLC
1414 DENVER WEST PARKWAY • GOLDEN, CO 80401

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CALL UN.C.C. 1-800-922-1567

BY	DATE	REVISION
JH	01/07/15	1 CITY COMMENTS 12/30/14
JH	01/21/15	2 CITY COMMENTS 01/13/15

SHEET: 2 OF 7

JOB NO. MINER'S POINT

DRAWING NO. SITE PLAN

SCALE AS NOTED

DATE: 12/23/14

DESIGN BY: JH

DRAWN BY: JH

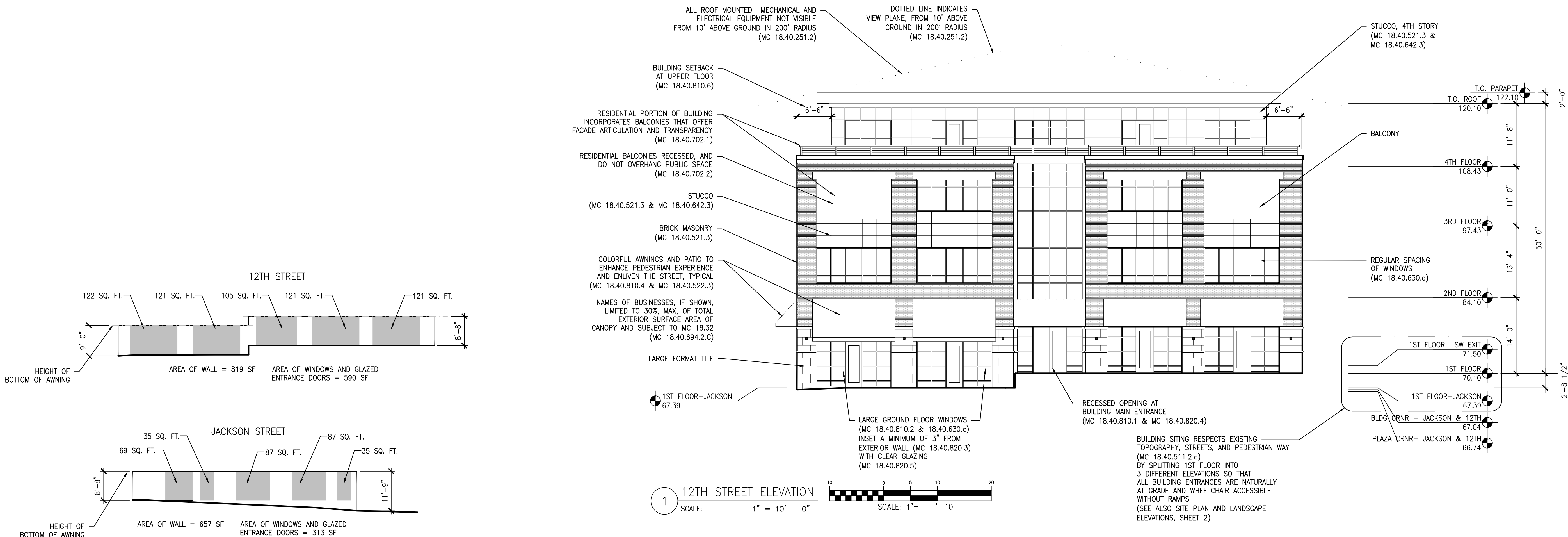
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FOR: MINER'S POINT, LLC

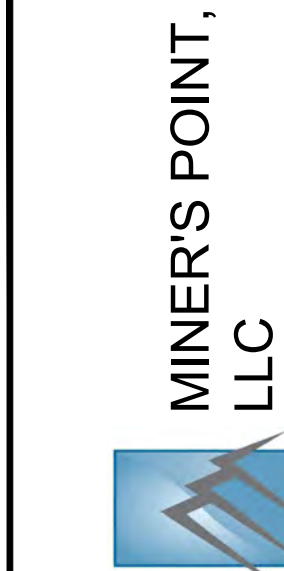
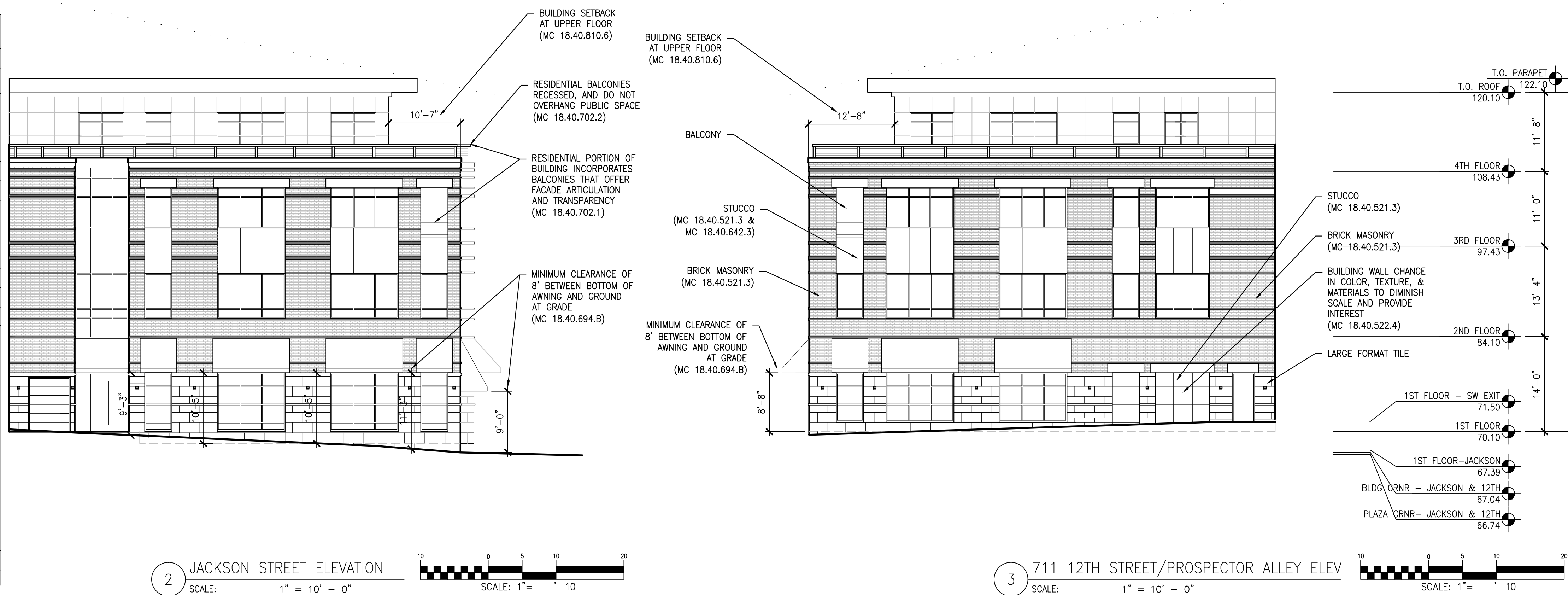
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SITE DEVELOPMENT PLAN
12TH STREET AND JACKSON

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CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO

BUILDING ELEVATIONS
PAGE 3 OF 7



STREET FRONT GLAZING			
MC 18.40.820.7			
REQUIRED			
DISPLAY WINDOWS - LARGE PANE WINDOWS SHALL BE INSTALLED ON THE FIRST FLOOR ENCOMPASSING A MINIMUM OF 60% OF THE COMMERCIAL STOREFRONT SURFACE AREA			
PROVIDED			
WINDOWS AND GLAZED ENTRANCE DOORS ALONG 12TH STREET AND JACKSON STREET CONSTITUTE 61.18% OF COMMERCIAL STOREFRONT SURFACE AREA			
CALCULATION			
	SURFACE AREA, SF	GLAZING AREA, SF	% GLAZED
12TH STREET	819	122	
		121	
		105	
		121	
JACKSON STREET	657	69	
		35	
		87	
		87	
TOTAL	1476	903	61.18



BEFORE YOU DIG
FOR BURIED CABLE LOCATIONS
CALL UN.C.C. 800-922-1587

BY

DATE

01/07/15

JH

REVISION

1

CITY COMMENTS 12/30/14

SHEET: 3 OF 7

JOB NO.

DRAWING NO.

SCALE AS NOTED

DATE: 12/23/14

DESIGN BY: JH

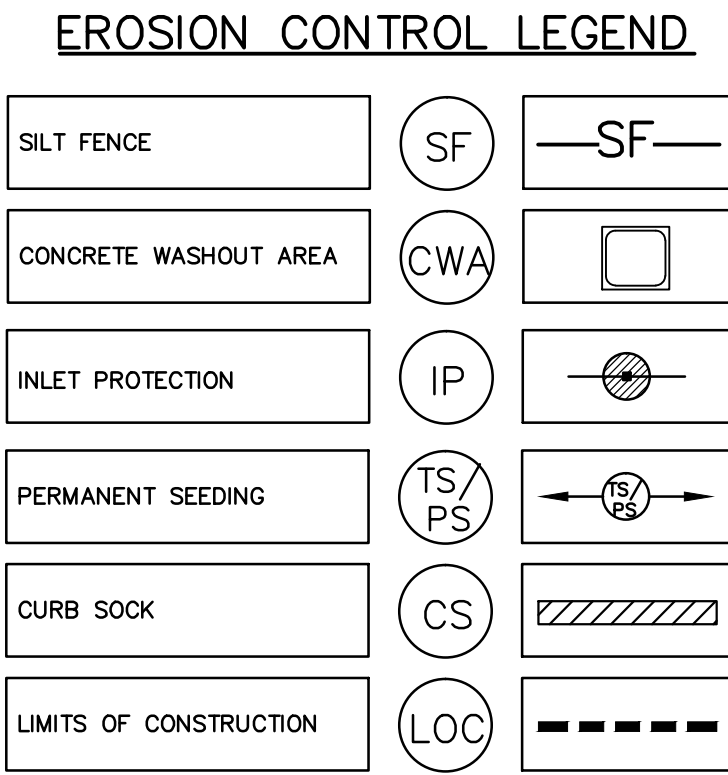
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PROJECT: MINER'S POINT

TITLE: BUILDING ELEVATIONS

FOR: MINER'S POINT, LLC

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CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
GRADING, DRAINAGE AND EROSION CONTROL PLAN
PAGE 4 OF 7

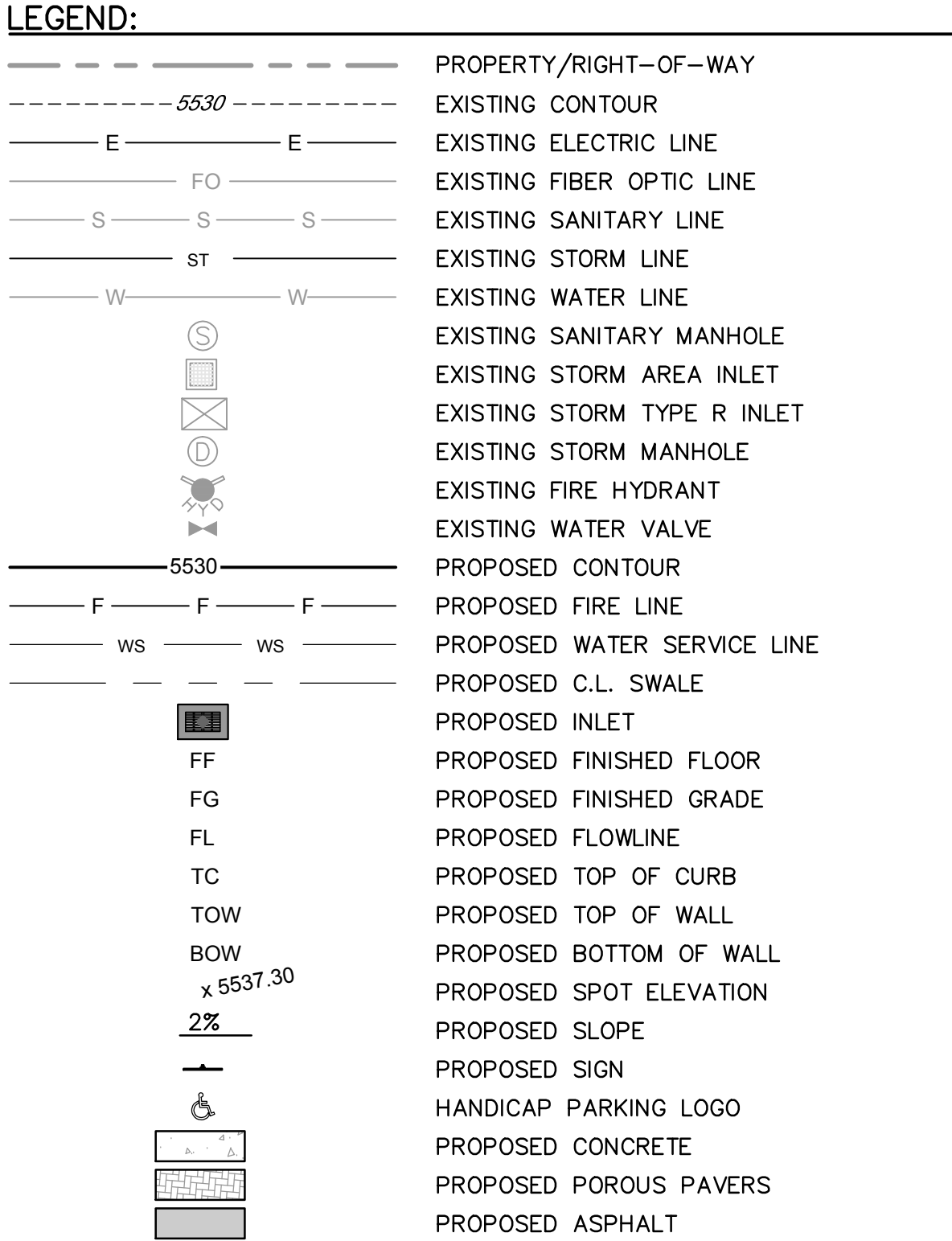


NOTES:

1.CONTRACTOR TO POTHOLE AND VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

PROJECT: MINER'S POINT	SHEET: 4 OF 7	REVISION	DATE	BY		
	DRAWING NO.					
TITLE: GRADING, DRAINAGE AND EROSION CONTROL	SCALE AS NOTED				BEFORE YOU DIG FOR BURIED CABLE LOCATIONS CALL U.N.C. BEFORE DIGGING 1-800-922-1987	PARAGON ENGINEERING CONSULTANTS, INC. 7852 SOUTH ELATI STREET, SUITE 106 LITTLETON, CO 80120 303-794-8604
FOR: MINER'S POINT, LLC	DATE: 12/22/14 DESIGN BY: TWD DRAWN BY: TWD CHECKED BY:					

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CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
UTILITY PLAN
PAGE 5 OF 7




- ## CONSTRUCTION NOTES
- ① — INSTALL 6" VERTICAL CURB WITH 2' CATCH GUTTER
 - ② — INSTALL 6" VERTICAL CURB WITH 3' SPILL GUTTER
 - ③ — INSTALL POROUS PAVERS
 - ④ — EXISTING CONCRETE SIDEWALK TO REMAIN
 - ⑤ — INSTALL 6" VERTICAL CURB WITH 4' RIBON GUTTER
 - ⑥ — EXISTING LIGHT POLE (TO BE RELOCATED)
 - ⑦ — INSTALL HANDICAP RAMP
 - ⑧ — EXISTING TRANSFORMER TO BE RELOCATED
 - ⑨ — EXISTING FIBER OPTIC BOX TO BE REMOVED
 - ⑩ — EXISTING CURB AND GUTTER TO BE REMOVED
 - ⑪ — EXISTING CURB AND GUTTER TO REMAIN
 - ⑫ — INSTALL SIDEWALK CHASE
 - ⑬ — INSTALL 1-FOOT CURB CUT
 - ⑭ — INSTALL 6" LANDSCAPE CURB
 - ⑮ — PROPOSED RELOCATION OF COBRA HEAD LIGHT.
FINAL LOCATION IS TO BE DETERMINED BY THE CITY OF GOLDEN.

NOTES:

1.CONTRACTOR TO POTHOLE AND VERIFY HORIZONTAL AND VERTICAL LOCATION OF EXISTING UTILITIES PRIOR TO CONSTRUCTION.

PROJECT: MINER'S POINT	SHEET: 5 OF 7 JOB NO. 14-010 DRAWING NO. SCALE AS NOTED	REVISION 	DATE 	BY
TITLE: UTILITY PLAN				
FOR: MINER'S POINT, LLC				

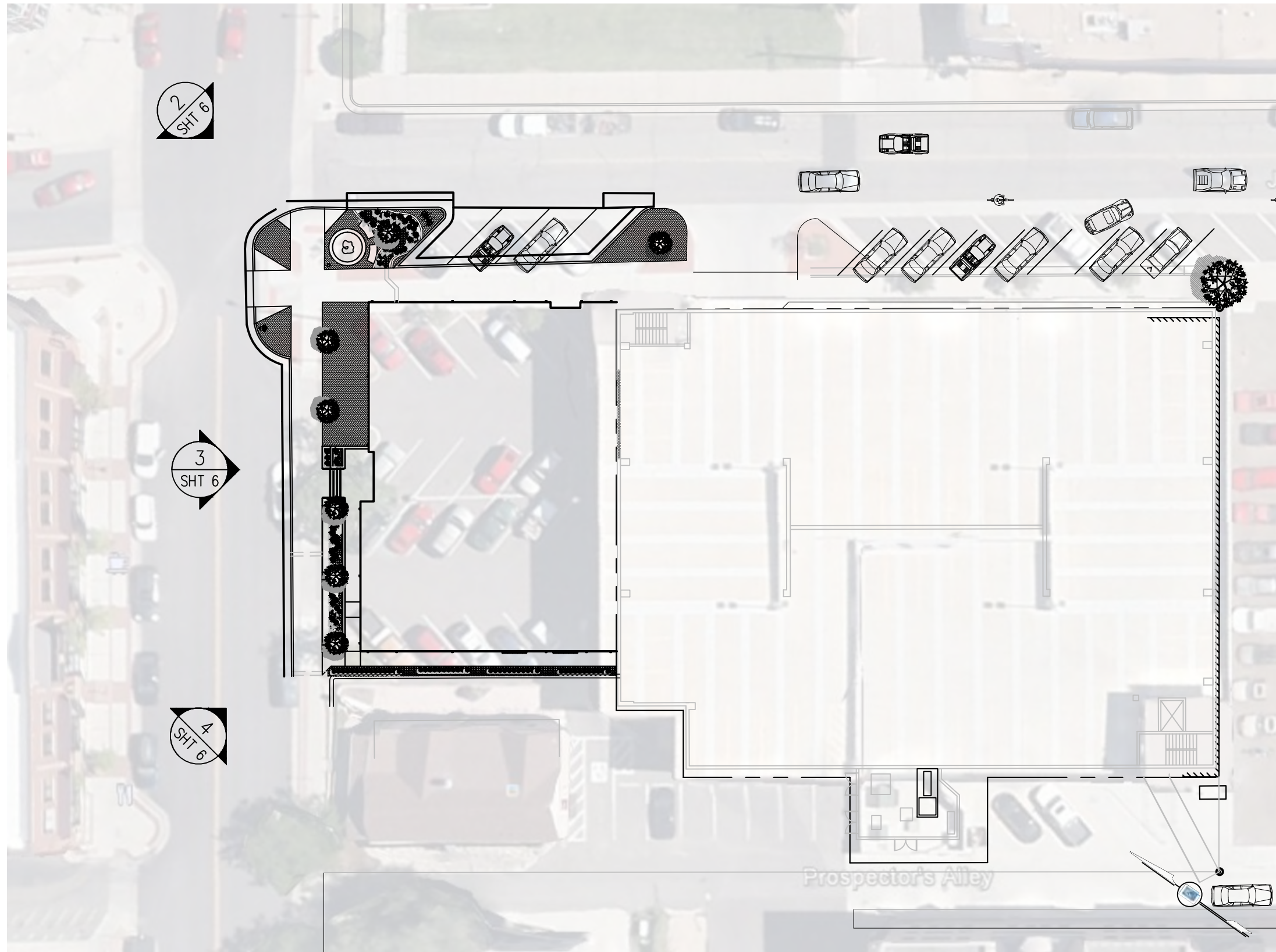


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CITY OF GOLDEN, COUNTY OF JEFFERSON, STATE OF COLORADO
BUILDING PERSPECTIVES
PAGE 6 OF 7



1 VICINITY PLAN
SCALE: 1" = 30' - 0"



3 PERSPECTIVE RENDERING
SCALE: N/A ABOUT 25' OFF THE GROUND
12TH STREET



2 PERSPECTIVE RENDERING
SCALE: N/A EYE LEVEL ABOUT 4' OFF THE GROUND
12TH STREET & JACKSON STREET



4 PERSPECTIVE RENDERING
SCALE: N/A EYE LEVEL ABOUT 4' OFF THE GROUND
12TH STREET NEAR WEST PROPERTY LINE

harvestdesign

Bar Scale
40 0 40 80
1" = 40'

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REVISION	DATE	BY
1	01/21/15	SM
1 CITY COMMENTS 12/30/14		

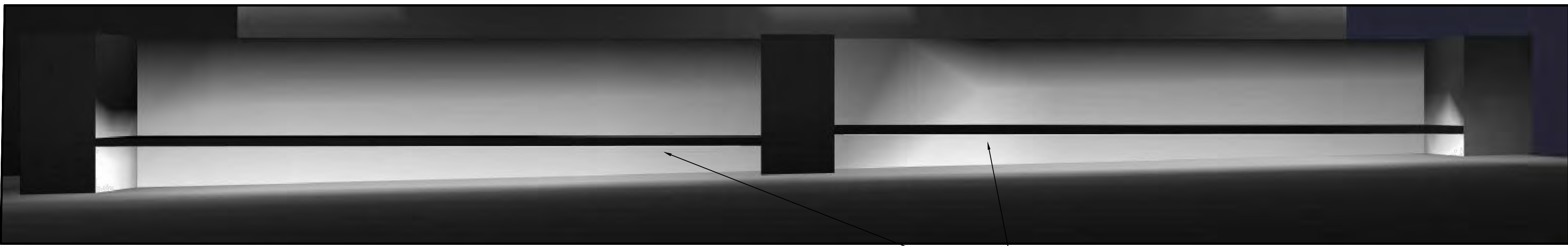
PROJECT:	TITLE:	FOR:
MINER'S POINT	BUILDING PERSPECTIVES	MINER'S POINT, LLC

SHEET: 6 OF 7

JOB NO.
DRAWING NO.
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PHOTOMETRICS
PAGE 7 OF 7



2 12TH STREET LED LIGHTING AT PUBLIC BENCH
SCALE: N/A

LED LIGHTS UNDER 12TH STREET BENCHES, TYP.

3 EXTERIOR WALL SCONCES
SCALE: WEST BUILDING ELEVATION

4 EXTERIOR WALL SCONCES
SCALE: N/A NORTH AND EAST BUILDING ELEVATIONS

5 JACKSON ST. PATHWAY LIGHTS WITHIN FILTRATION GARDEN
SCALE: N/A