

ORDINANCE NO. 2048

**AN ORDINANCE OF THE CITY OF GOLDEN AMENDING
SECTION 18.40.350 OF THE GOLDEN MUNICIPAL CODE
PERTAINING TO SUSTAINABILITY MENU REQUIREMENTS
FOR SITE PLAN APPROVAL**

WHEREAS, Section 18.40.350 of the Golden Municipal Code was enacted to establish regulations pertaining to the use of land in the City; and

WHEREAS, City Council wishes to amend certain provisions of Section 18.40.350 to address Sustainability Menu options; and

WHEREAS, City Council believes these amendments will increase the efficiency and effectiveness of the Golden Municipal Code with regard to those regulations and their underlying goals.

THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF GOLDEN, COLORADO:

Section 1 Section 18.40.350 of the Golden Municipal Code, Sustainability Menu, is hereby repealed and reenacted as contained in Exhibit A attached hereto.

Section 2 All other ordinances or portions thereof inconsistent or conflicting with this ordinance or any portion hereof is hereby repealed to the extent of such inconsistency or conflict.

Section 3 The repeal or modification of any provision of the Municipal Code of the City of Golden by this ordinance shall not release, extinguish, alter, modify or change in whole or in part any penalty, forfeiture or liability, either civil or criminal, which shall have been incurred under such provision. Each provision shall be treated and held as still remaining in force for the purpose of sustaining any and all proper actions, suits, proceedings and prosecutions for enforcement of the penalty, forfeiture or liability, as well as for the purpose of sustaining any judgment, decree or order which can or may be rendered, entered or made in such actions, suits, proceedings or prosecutions.

Section 4 This ordinance is deemed necessary for the protection of health, welfare and safety of the community.

Section 5 The repeal or modification of any provision of the Municipal Code of the City of Golden by this ordinance shall not release, extinguish, alter, modify or change in whole or in part any penalty, forfeiture or liability, either civil or criminal, which shall have been incurred under such provision. Each provision shall be treated and held as still remaining in force for the purpose of sustaining any and all proper actions, suits, proceedings and prosecutions for enforcement of the penalty, forfeiture or liability, as well as for the purpose of sustaining any judgment, decree or order which can or may be rendered, entered or made in such actions, suits, proceedings or prosecutions.

Introduced, read, passed and ordered published this 26th day of January 2017.

Passed and adopted upon second reading and ordered published this 9th day of February 2017.




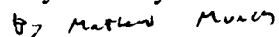
ATTEST:


Susan M. Brooks, MMC
City Clerk


Marjorie N. Sloan
Mayor

APPROVED AS TO FORM:


David S. Williamson
City Attorney

by 
Matthew Munch
Assistant City Attorney

I, Susan M. Brooks, City Clerk of the City of Golden, Colorado, do hereby certify that the foregoing ordinance was introduced on first reading and read at a regular business meeting of the City Council of said city, held on the 26th day of January, 2017, and was published as a proposed ordinance in the Golden Transcript, legal newspaper, as the law directs seven days or more prior to its passage. A public hearing was held on the 9th day of February 2017, and the said proposed ordinance was read on second reading. The ordinance was passed by the City Council and ordered published in the aforesaid newspaper, as the law directs on the 9th day of February, 2017.

Witness my hand and official seal of the City of Golden, Colorado, this 9th day of January 2017.



ATTEST:

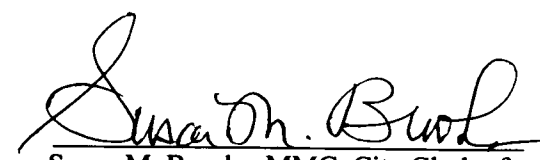

Susan M. Brooks, MMC, City Clerk of
the City of Golden, Colorado

Exhibit A

18.40.350 Sustainability Menu

Applicants shall either choose items from the menu, below, to reach a minimum of 25 points in order to meet the City sustainability standards, or propose their own sustainable design elements for all or a portion of the 25 points needed. The City of Golden encourages innovation, and Planning Commission may award points for specific measures not on the menu. Applicants shall achieve points from at least three of the five categories in the menu.

Menu Item	Points	Documentation Required
Water Conservation, Storm Water, and Water Quality		
1. Employ storm water runoff reduction strategies to slow runoff and promote infiltration. One point is awarded for every 20% of impervious area routed through bioswales, biobuffers, rain gardens and/or permeable pavement designed in accordance with the City of Golden Stormwater Standards Manual.	1-5	Applicant shall show both impervious areas and porous infiltration areas on the site plan, as well as calculation of percent of impervious routed through porous areas. Product specification sheet and/or maintenance plan must also be submitted with building plans.
2. Plant a vegetated roof for a portion of the roof area. Points awarded on a sliding scale, with 1 point for every 10% of vegetated roof area.	1-10	A vegetated roof plan shall be submitted with landscape plan that shows what will be planted, how it will be irrigated and a roof area calculation.
3. Exceed open space requirement by 25% or more. Includes both landscaped and xeriscaped areas.	2	Site plan shall show area of open space as well as calculation to demonstrate how it exceeds requirement by 25%.
4. Use water conservation measures, including .125 gallons per flush urinals, dual flush toilets, 1.8 gallons per minute faucets and showerheads, drip irrigation with rain sensors and industrial conservation measures.	1-3	One point given for fulfillment of each conservation category throughout the project.

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Transportation		
1. Provide double the minimum of the required amount of bicycle parking on site for one point. One additional point available for providing a bike repair station, and one additional point for providing secure and enclosed parking (e.g. lockers, storage room) for at least 50% of the bike parking needed for double the minimum amount.	1-3	Must demonstrate locations and amount of bicycle parking on site plan.
2. Provide number of shower units for a minimum of 2% of all full time equivalent employees.	2	Building plans shall show location of shower facility, number of showers and calculation of showers to projected number of full time equivalent employees.
3. Build development within ¼ mile of public bus stop or ½ mile of light rail stop, as measured using a pedestrian's walking distance. Applicant shall also demonstrate enhanced walkability by establishing connections to transit and surrounding areas.	2	Applicant must provide map to scale that demonstrates site boundaries, identifies location of transit stop, and shows walking path and distance between them. Map shall also identify potential barriers for pedestrians.
4. Provide, maintain and install a bus shelter if a stop is in or adjacent to the right-of-way.	2	Site Plan shall demonstrate location and type of pedestrian amenities, as well as location of bus stop if applicable. Product specification sheets are also required.
5. Provide preferred parking for 5% of parking spaces to serve car/van pool vehicles and hybrid and electric vehicles. This item may not be combined with item 6, below.	1	Site Plan shall designate location and amount of preferred parking, and product image of proposed signage also required.
6. Install Level 2 (240 volt) or greater electric plug-in stations for hybrid and electric vehicles for 3% of the total vehicle parking spaces on site for two points, and make them available to the general public for one additional point.	2-3	Demonstrate location and number of stations on site plan, as well as provide product specification sheets.
7. Restrict parking on site to the minimum number of spaces allowed by code. Car share spaces shall reduce the required minimum	0-3	Site plan shall show parking layout and number of spaces provided, as well as calculation of minimum required.

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spaces by a 1:1 ratio. Only standard aisles and spaces allowed unless under exclusive easement.		
8. Add designated and signed car share space(s) to site.	2	Site plan shall designate location and amount of car share parking, and submittal shall provide image of proposed sign and an agreement with an established car share company.

Energy Efficiency		
1. Increase energy efficiency of structure over currently adopted IECC code requirement. Points are awarded on a sliding scale with one point for every 2% increase in energy efficiency, up to 25 points. Points may be awarded for efficiency gains in specific systems, such as lighting or mechanical, but more points may be awarded for an integrated design approach.	1-25	Complete REScheck or COMcheck Compliance Certificate for interior and exterior lighting, building envelope, and mechanical equipment, and provide proof of energy modeling with a defined performance target that demonstrates projected energy efficiency.
2. Commission the building(s) for energy efficiency performance by a technician prior to c/o. Applicant shall be required to make all feasible improvements prior to Planning final inspection approval.	4	Provide energy model performance targets at time of building permit application, as well as proof of contract with technician commissioning the building(s).
3. Install building automation system for advanced monitoring, which can include networked controls of multiple building systems, such as heating and cooling, ventilation, daylighting and lighting.	1-4	Show product information at time of site plan application for building system(s) used and the building features it controls to increase building efficiency. Programmable thermostat = 1 point, Networked controls = 2 points, Fully integrated system (BAS) = 4 points.
4. Offset traditional energy usage with renewable energy production on site. There will be 1 point awarded for each 4% reduction in energy use, ending with 25 points for a net zero building that	1-25	Applicant must demonstrate the projected energy usage of the structure and calculate the percentage of that power that will reliably be produced on site. Building

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	produces as much power as it consumes over the course of a calendar year.		Department staff will verify the model and projected renewable energy component.
5.	Plant at least 20% additional trees than otherwise required to maximize shade over paved or covered areas in summer (deciduous east, west, south), provide a wind break in winter (evergreens to north) and reduce the urban heat island effect in parking areas and throughout the site.	3	Landscape plan shall demonstrate location and type of trees to be planted, and show the number of trees required versus number proposed. Points awarded based on strategic placement to reduce heat island effect, and can include deciduous vines on trellis structures as well as trees.
6.	Construct predominately residential buildings and/or roofs to be elongated on an east-west axis, with south facing windows that receive sunlight between the hours of 9:00 A.M. and 3:00 P.M. (sun exposure) during the heating season. This shall be coupled with the use of awnings or other shade structures on the east and west facing windows, appropriate use of glazing, use of daylighting, and other passive solar design techniques to reduce energy demand, including building envelope design.	1-5	Demonstrate by using solar path diagram, and identifying percentage of south facing window area, and placement of shade structures, glazing types and daylighting, as well as any other passive solar techniques employed. Points awarded based on integrated approach using several passive solar methods.
7.	Provide separate meters for tenant occupied spaces for electricity. For natural gas, provide separate meters for tenant spaces 10,000 sf. or more.	2	Building plans shall display location and number of meters.
8.	Install heat reflective roof materials. Minimum 29 SRI (Solar Reflective Index) materials qualify.	2	Provide product cut sheets that demonstrate compliance at time of site plan submittal.
Community Preservation and Revitalization			
1.	Preserve an existing structure when increasing square footage or creating additional structures. To receive points, all structures must also be brought into compliance with currently adopted IECC code. Points awarded on a sliding scale with 1 point for the first 1,000 sf	1-5	Site plan and building plans shall both reflect the building square footage being preserved on site.

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and then 1 for every 1,000 sf thereafter, up to a maximum of 5 points.			
2. If preserving a historically designated structure, applicant may be awarded two additional points for improving energy efficiency while maintaining both the character and structural integrity of the building.	2		Provide elevation drawings with site plan submittal that demonstrate preservation efforts, as well as achieve energy efficiency points per the "Energy Efficiency" category of this menu.
3. Add affordable housing units (as defined by HUD) to a project. Points awarded on a sliding scale, with 2 points awarded for every affordable unit created up to a maximum of 10 points. Must also fulfill requirements under Transportation #3 and Energy Efficiency #1 of this menu to receive points.	2-10		Demonstrate at site plan review and at building permit review with details on size and price points of units. Deed restriction is required, and proof shall be provided in order to get c/o.
4. Choose an infill site, which can be no greater than one half acre in size, and is defined here by having paved or developed lots adjacent, or across a right-of-way, on at least two sides of the property.	3		Demonstrate at site plan review by showing contextual view of adjacent developed lots.
5. Choose a brownfield site, defined by the EPA as the "presence or potential presence of a hazardous substance, pollutant, or contaminant."	5		Demonstrate at site plan review with documentation that shows the type and amount of site contamination. Remediation plans shall be required at building permit.
6. Provide community garden plots fruit trees, or other means of food production on site for a minimum of 15% of multifamily units to foster local food production. Plots must be a minimum of 20 square feet each.	3		Landscape plan shall show location, size and number of garden plots, fruit trees, vines, etc. and provide evidence that garden plots are easily accessible, of appropriate slope, and contain adequate sunlight and an available water source.
7. Provide compost bin location on the property with contract for pick-up service.	2		Site plan shall show location of compost bin, and proof of contract for pick-up service required at building permit.

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Miscellaneous		
	Varies	
1. Planning Commission may reward applicants for sustainable design elements not covered by this menu. Consideration will be given for scale, efficiency or innovation beyond standard business practices of the applicant, and points will be awarded at the discretion of the Planning Commission. Examples include participation in a bike share system and use of recycled materials. Special consideration given for proposals that integrate a number of different menu items in a coordinated effort toward sustainability.		Documentation requirement shall be tailored to proposed plan. In order to qualify for points, an applicant must be able to demonstrate that the proposed project attains a measurable achievement in one of the other four categories of menu items.
2. Sustainability Menu requirements and associated point system shall be waived if project achieves LEED or or Green Globes certification.	N/A	For LEED, provide LEED registration and completed LEED checklist for site plan review. Construction drawings and LEED templates required for building permit. For Green Globes, provide narrative of design approach for site plan review, then provide construction documents survey for building permit. Initial certification documents required for final permit and certificate of occupancy.
3. Place 50% of parking either under cover with a roof that has a minimum SRI (Solar Reflectance Index) of 29, or beneath finished living space in order to reduce urban heat island effect.		Site and building plans shall detail covered parking along with method and proof of SRI achieving SRI requirement.

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For projects involving the installation of certain high-resource use features, the minimum number of points increases according to the following schedule:

High Energy-Use Feature	Additional Sustainability Points Required
Gas fire pits exceeding 40,000 BTU	5
Indoor heated swimming pool	5
Outdoor heated swimming pool	10
Hot tub or spa	5
Snow and ice melt system	5

To calculate the total number of required points, sum 25 plus the additional points required for items listed in the schedule above. As an example, the total number of points required for a project that includes a gas fire pit and a snow melt system would be 35 (i.e., 25 + 5 +5)