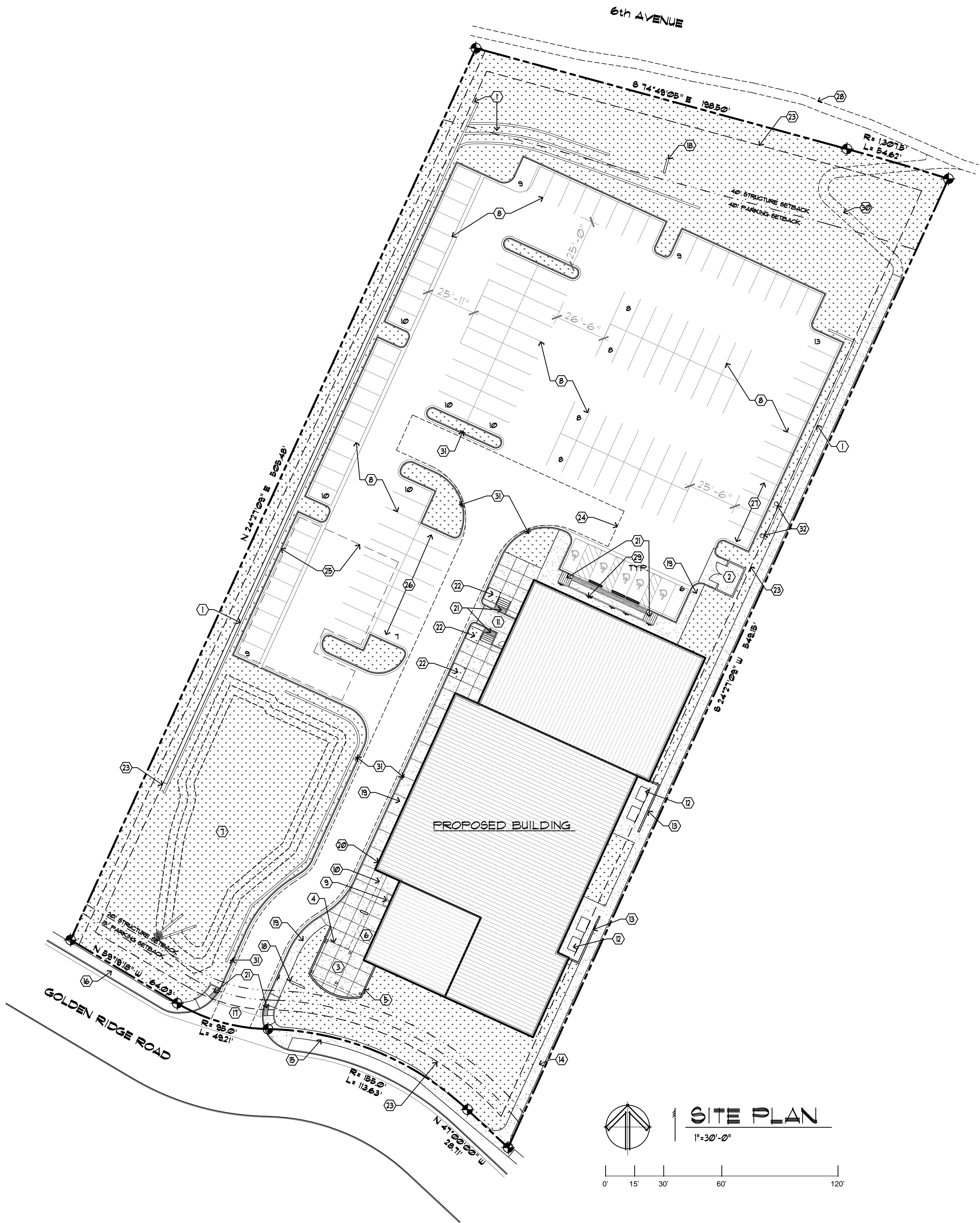


## Vicinity Map

0 250 500 Feet

Case No.:	PC12-29
Applicant:	DCB Construction Company Inc.
Location:	700 Golden Ridge Road
Request:	Site Plan Approval





### KEY NOTES

- RETAINING WALL, RE: CIVIL
- 8'-0" HIGH CMU TRASH ENCLOSURE WITH METAL GATES
- OUTDOOR CONCRETE PATIO
- ALTERNATE OVERHEAD PATIO TRELLIS
- 3'-0" HIGH CONCRETE PATIO SCREEN WALL
- BIKE RACKS
- DETENTION POND, RE: CIVIL
- 4" WIDE WHITE TRAFFIC PAINT STRIPPING
- MAIN BUILDING ENTRY DOOR
- COVERED ENTRY
- BUILDING EQUIPMENT ACCESS DOOR
- GROUND BASED MECHANICAL EQUIPMENT
- 6'-0" HIGH CMU MECHANICAL EQUIPMENT SCREEN
- CONCRETE PEDESTRIAN WALK
- REMOVE EXISTING ATTACHED SIDEWALK AND INSTALL NEW DETACHED SIDEWALK TO MATCH ADJACENT PROPERTY
- EXISTING ATTACHED SIDEWALK TO REMAIN
- EXISTING CURB CUT
- NEW MONUMENT SIGN
- CONCRETE SIDEWALK
- FIRE DEPARTMENT CONNECTION
- ADA ACCESSIBLE RAMPS AND TRUNCATED DOMES
- SIDEWALK TREE PIT
- UTILITY EASEMENT, RE: CIVIL
- FIRE DEPARTMENT ACCESS DRIVE
- POROUS PAVEMENT AREA (5,000 SQ. FT.)
- PREFERRED CAR POOL PARKING SPACES (1 SPACES)
- ELECTRIC PLUG-IN PARKING SPACES (4 SPACES)
- PUBLIC TRAIL BY CITY OF GOLDEN
- 12" x 18" ADA SIGN (SIGN #4-06) ON GALV. STEEL POST. MOUNT BOTTOM OF SIGN AT 1'-0" ABOVE SIDEWALK
- FUTURE CONCRETE PEDESTRIAN WALK CONNECTION TO PUBLIC TRAIL
- FIRE LANE SIGN
- ELECTRIC VEHICLE CHARGING STATIONS (2 STATIONS)

### ZONING DATA

ZONE DISTRICT	PLANNED UNIT DEVELOPMENT (PUD)
BUILDING USE	RECREATION - INDOOR CLIMBING GYM
NUMBER OF BUILDINGS	1
NUMBER OF STORIES	1 PLUS MEZZANINE
BUILDING AREA	29,515 SQ. FEET F.A.R.: 29,515 / 130,840 = 0.23 (0.4 MAX. ALLOWED)
MAIN LEVEL	21,470 SQ. FEET (USGS DATUM ELEVATION 6043)
MEZZANINE LEVEL	8,045 SQ. FEET
BUILDING HEIGHT	49'-2" (60'-0" MAXIMUM ALLOWED) USGS DATUM - 6092.2 (6120 MAXIMUM ALLOWED)
BUILDING SETBACKS	
FRONT (SOUTH)	VARIES - 40'-0" MINIMUM
REAR (NORTH)	VARIES - 203'-0" MINIMUM
SIDE (WEST)	128'-0"
SIDE (EAST)	12'-0"

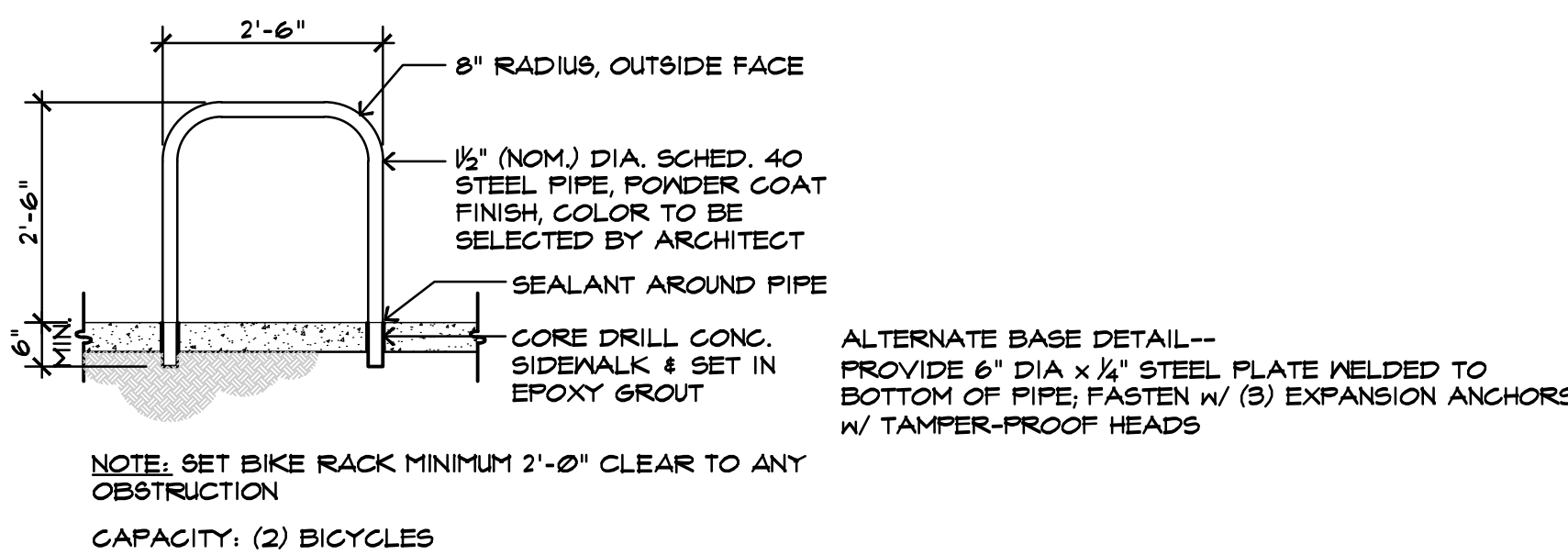
### SITE DATA

LOT AREA	130,869 S.F.	3.004 ACRES
BUILDING FOOTPRINT	21,470 S.F.	16.41%
PARKING LOT AND DRIVES	53,942 S.F.	41.22%
PARKING AREA	21,678 S.F.	16.57%
DRIVE AREA	32,264 S.F.	24.65%
OPEN SPACE	55,451 S.F.	42.38% (MIN. REQ'D. = 25% = 32,711 SQ. FT.)
LANDSCAPING	44,676 S.F.	34.14% (EXCEEDS MIN. BY 36.5%)
PARKING LOT ISLANDS	2,116 S.F.	1.61%
OTHER LANDSCAPING	42,560 S.F.	32.53%
RETAINING WALLS/DRAIN PAN	2,214 S.F.	1.69%
PATIO / SIDEWALKS	8,564 S.F.	6.55%

PARKING COUNT	
MINIMUM SPACES REQUIRED	29,515 / 400 = 74 SPACES
TOTAL SPACES PROVIDED	135 SPACES
STANDARD SPACES (9' x 18' MIN.)	130 SPACES
HC SPACES (MINIMUM 5 REQ'D.)	5 SPACES
BIKE SPACES REQUIRED	1 (5% OF PARKING SPACES)
BIKE SPACES PROVIDED	14

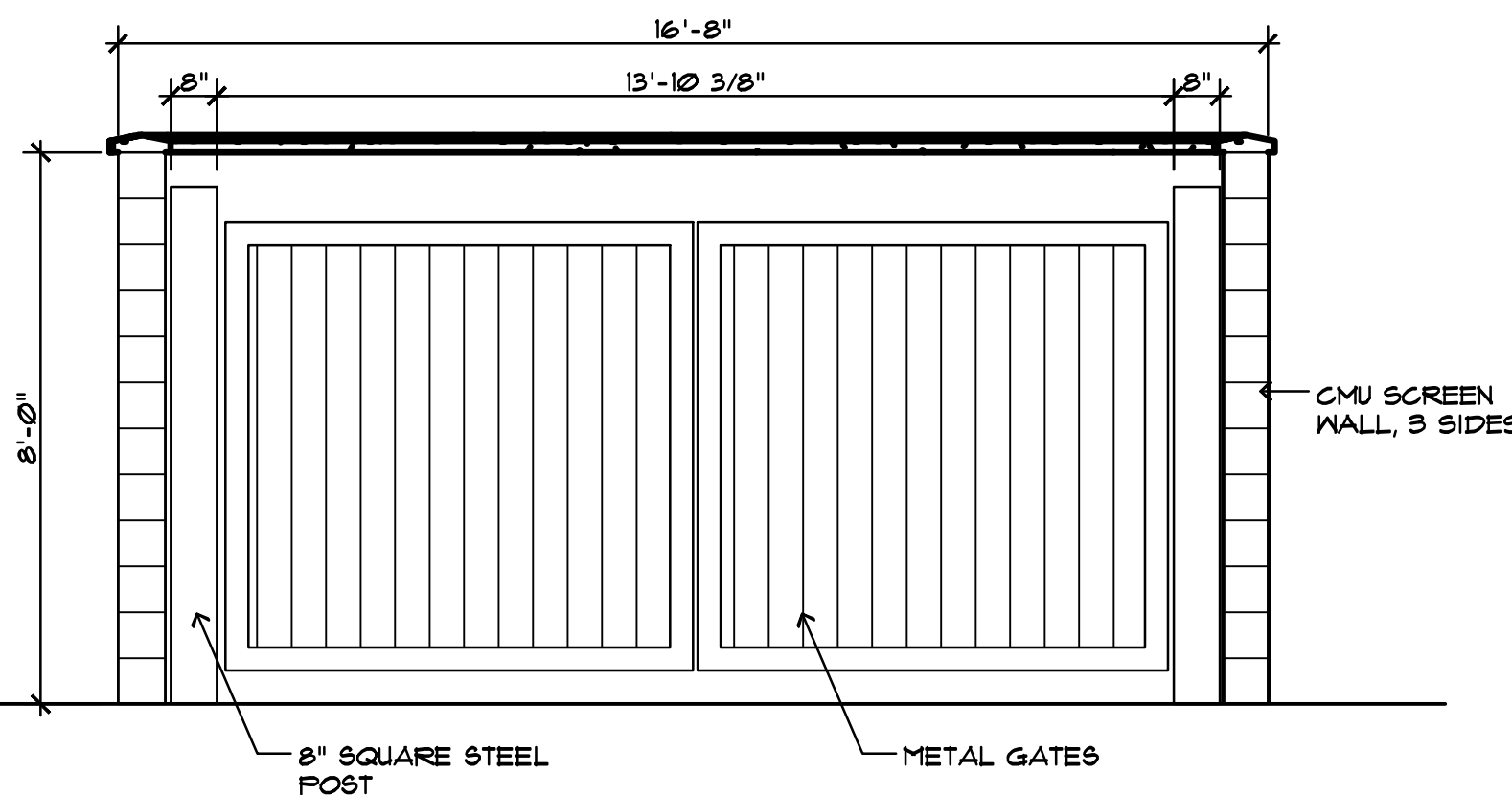
### MATERIALS LEGEND

	LANDSCAPED AREA		CONCRETE PATIO / WALKS
--	-----------------	--	------------------------



### BIKE RACK DETAIL

1/2"=1'-0"



### TRASH ENCLOSURE

3/8"=1'-0"

NEW BUILDING FOR  
**EARTH TREKS**

GOLDEN RIDGE ROAD  
GOLDEN, CO 80401

Design Project No.  
12-917

Drawing Title

SITE PLAN

Drawing No.

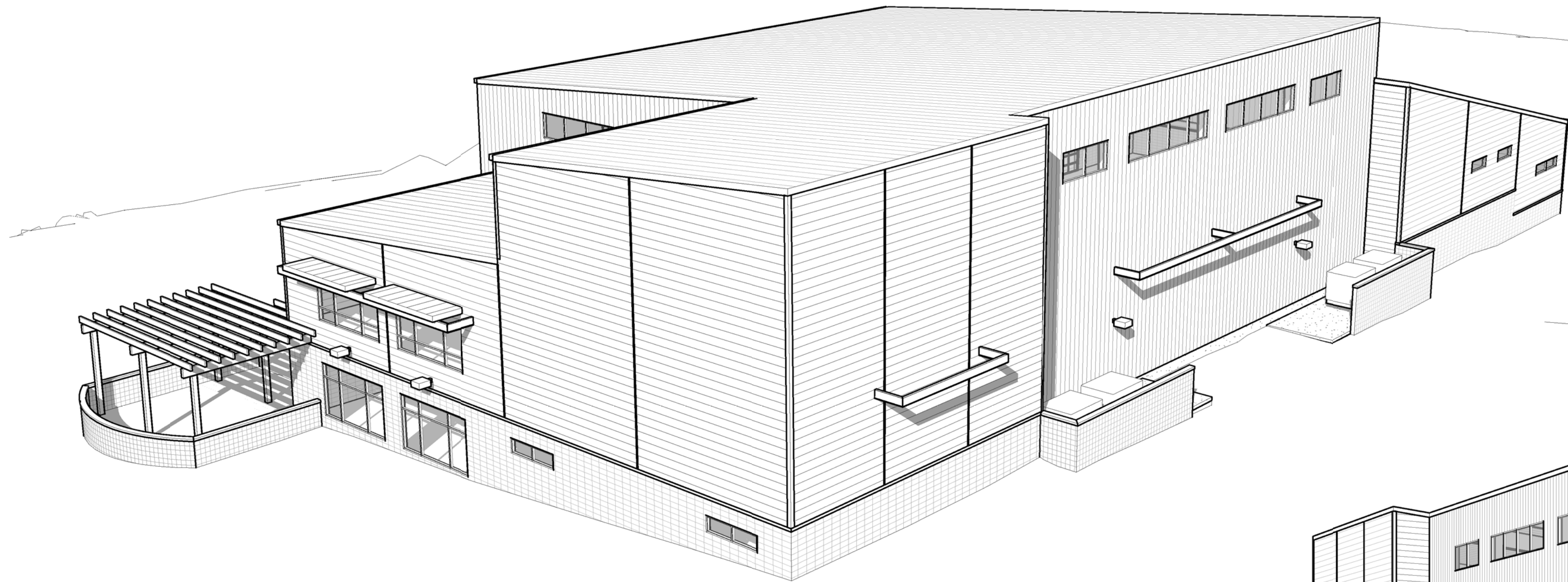
**A-2**

Date: 10/23/2012  
Submitted: 11/19/2012  
Resubmittal #1

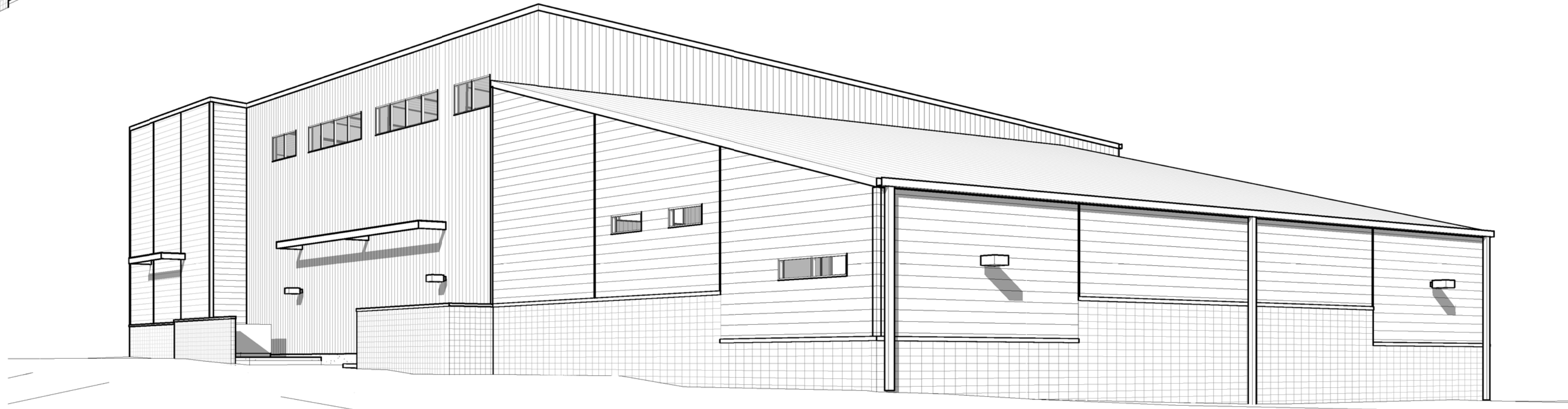
**dcb** construction company, inc.  
909 East 62nd Avenue • Denver, Colorado 80216 • 303.287.5525 • Fax 303.287.3897 • www.dcbi.com

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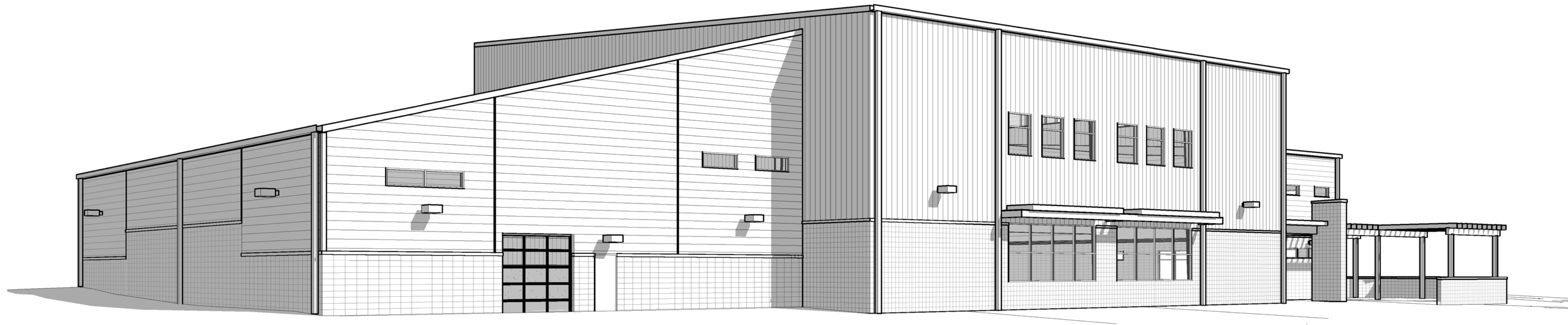




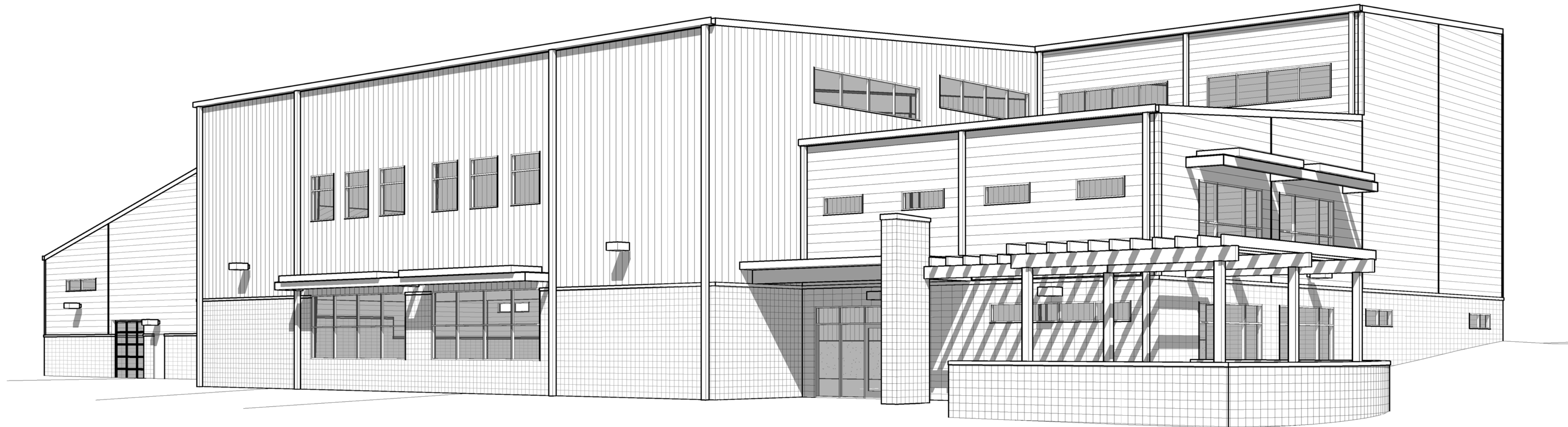
SOUTHEAST VIEW



NORTHEAST VIEW



NORTHWEST VIEW



SOUTHWEST VIEW & ENTRANCE

Date 10-23-2012	Revision / Revision 11-9-2012	SITE DEVELOPMENT PLAN RESUBMITTAL #1	
 908 East 62nd Avenue • Denver, Colorado 80216 • 303.287.5525 • Fax 303.287.5897 • www.jcb.com		These plans are an instrument of service and are the property of JCB Construction Company, Inc. and may not be duplicated, disclosed, or reproduced without the written consent of JCB Construction Company, Inc. Copyrights and infringements will be enforced and prosecuted, 2012	
NEW BUILDING FOR EARTH TREKS		GOLDEN RIDGE ROAD GOLDEN, CO 80401	
Design Project No. 12-917		Drawing Title BUILDING MASSING	
Drawing No. A-5			





**1 SOUTH ELEVATION**  
1/8" = 1'-0"



**2 WEST ELEVATION**  
1/8" = 1'-0"

Date: 10/23/2012 Submitted / Revision: 11-9-2012	
10/23/2012 SITE DEVELOPMENT PLAN 11-9-2012 RESUBMITTAL #1	
<div><div>dcb</div><div>construction company, inc. 909 East 62nd Avenue • Denver, Colorado 80216 • 303.287.5525 • Fax 303.287.2897 • www.dcb1.com</div></div> <p><small>These plans are an instrument of service and are the property of DCB Construction Company, Inc. and may not be duplicated, disclosed, or reproduced without the written consent of DCB Construction Company, Inc. Copyrights and infringements will be enforced and prosecuted. 2012</small></p>	
NEW BUILDING FOR <b>EARTH TREKS</b>  GOLDEN RIDGE ROAD GOLDEN, CO 80401	
Design Project No.	12-917
Drawing Title	COLOR BUILDING ELEVATIONS
Drawing No.	<b>A-6</b>





**1 NORTH ELEVATION**  
1/8" = 1'-0"



**2 EAST ELEVATION**  
1/8" = 1'-0"

Date: 10-23-2012 Submission / Revision: 11-9-2012	
SITE DEVELOPMENT PLAN RESUBMITTAL #1	
 908 East 62nd Avenue • Denver, Colorado 80216 • 303.287.5525 • Fax 303.287.2897 • www.dcbt.com	
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NEW BUILDING FOR <b>EARTH TREKS</b>	
GOLDEN RIDGE ROAD GOLDEN, CO 80401	
Design Project No. 12-917	
Drawing Title COLOR BUILDING ELEVATIONS	
Drawing No. <b>A-7</b>	



LANDSCAPE NOTES

- 1 - PRIOR TO PLANTING AND INSTALLING IRRIGATION SYSTEMS, ALL SITES FOR PLANTING SHALL INCORPORATE SOIL AMENDMENTS AT A RATE OF 3 CUBIC YARDS PER 1000 SQUARE FEET TO A DEPTH OF AT LEAST SIX INCHES. EXISTING TOPSOIL SHALL BE SALVAGED AND STOCKPILED FOR USE IN AMENDING AREA SOIL. PRIOR TO ISSUANCE OF A CERTIFICATE OF OCCUPANCY, CERTIFICATION MUST BE PROVIDED TO THE CITY CERTIFYING THAT SUCH AMENDMENTS HAVE BEEN INSTALLED.
- 2 - TURF AREAS AND LIVE PLANTING AREAS IN EXCESS OF 100 SQUARE FEET IN AREA SHALL BE SERVED BY A PERMANENTLY INSTALLED IRRIGATION SYSTEM UNLESS EXEMPTED BY THE DIRECTOR, BASED UPON A DETERMINATION THAT SUCH AN IRRIGATION SYSTEM IS UNNECESSARY AS A RESULT OF THE SIZE, LOCATION OR ALTERNATE MAINTENANCE ACCOMMODATIONS APPLICABLE TO THE AREA.
- 3 - THE IRRIGATION PLAN SHALL DEMONSTRATE THAT ZONES ARE DESIGNED TO MINIMIZE OVER SPRAY AND WATER WASTE THROUGH USE OF AUTOMATIC CONTROLLERS, RAIN SENSORS, MOISTURE SENSORS AND, FOR NON-TURF AREAS, SUBSURFACE DRIP SYSTEMS.
- 4 - PROVISION FOR LANDSCAPING, SCREENING AND MAINTENANCE ARE A CONTINUING OBLIGATION OF THE PROPERTY OWNER, AND WHERE APPROVED TREES, SHRUBS OR OTHER LANDSCAPING MATERIALS DIE OR ARE REMOVED, IT SHALL BE THE RESPONSIBILITY OF THE APPLICANT TO REPLACE THEM WITH MATERIALS OF A COMPARABLE NATURE AND SIZE TO THOSE ORIGINALLY APPROVED. REPLACEMENT SHALL OCCUR IN THE NEXT PLANTING SEASON, BUT IN ANY EVENT, SUCH REPLACEMENT TIME SHALL NOT EXCEED ONE (1) YEAR. ANY REPLACEMENT WHICH CONFORMS TO THE REQUIREMENTS OF THIS SECTION SHALL NOT BE CONSIDERED AN AMENDMENT TO THE SITE PLAN.
- 5 - CITY RIGHT-OF-WAY, OR THE AREA BETWEEN THE ROAD AND THE PROPERTY LINE, SHALL BE MAINTAINED BY THE OWNER OF THE ADJOINING PROPERTY.
- 6 - THE OWNER OF THE PROPERTY, HIS SUCCESSORS, LESSEES, HEIRS AND ASSIGNS SHALL BE RESPONSIBLE FOR THE PROPER MAINTENANCE OF THE AREA SUBJECT TO AN APPROVED SITE PLAN. THAT AREA SHALL BE DEEMED TO INCLUDE AN AREA AS MEASURED FROM THE BACK OF THE CURB LINE TO, AND INCLUDING, ALL AREAS SUBJECT TO THE APPROVED SITE PLAN. LANDSCAPING SHALL BE REGULARLY MAINTAINED INCLUDING NECESSARY WATERING, WEEDING, PRUNING, PEST CONTROL AND REPLACEMENT OF DEAD OR DISEASED PLANT MATERIAL.

LANDSCAPE REQUIREMENTS

AREA	DESCRIPTION	LANDSCAPE REQUIREMENT	QUANTITY REQUIRED	QUANTITY PROVIDED
STREETSCAPE	GOLDEN RIDGE ROAD	1 SHADE TREE PER 35' OF FRONTAGE	5 TREES	5 TREES
PARKING LOT	148 PARKING SPACES	1 TREE PER 5 PARKING SPACES	30 TREES	31 TREES *
PARKING ISLANDS	SMALL (20 SF MINIMUM SIZE)	1 TREE AND 5 SHRUBS PER ISLAND	N/A	N/A
	LARGE (GREATER THAT 20 SF)	1 ADDITIONAL SHRUB FOR EACH ADDITIONAL 20 SF AND 1 ADDITIONAL TREE FOR EACH ADDITIONAL 200 SF	114 SHRUBS 15 TREES	123 GRASSES** 12 TREES*

\* 20% ADDITIONAL TREES WERE ADDED TO ACHIEVE 3 ENERTY EFFECIENCY CREDITS

\*\* NO. 1 CONTAINER GRASSES ARE USED AT APPROXIMATELY 1½ GRASSES = 1 NO. 5 CONTAINER SHRUB

LANDSCAPE LEGEND

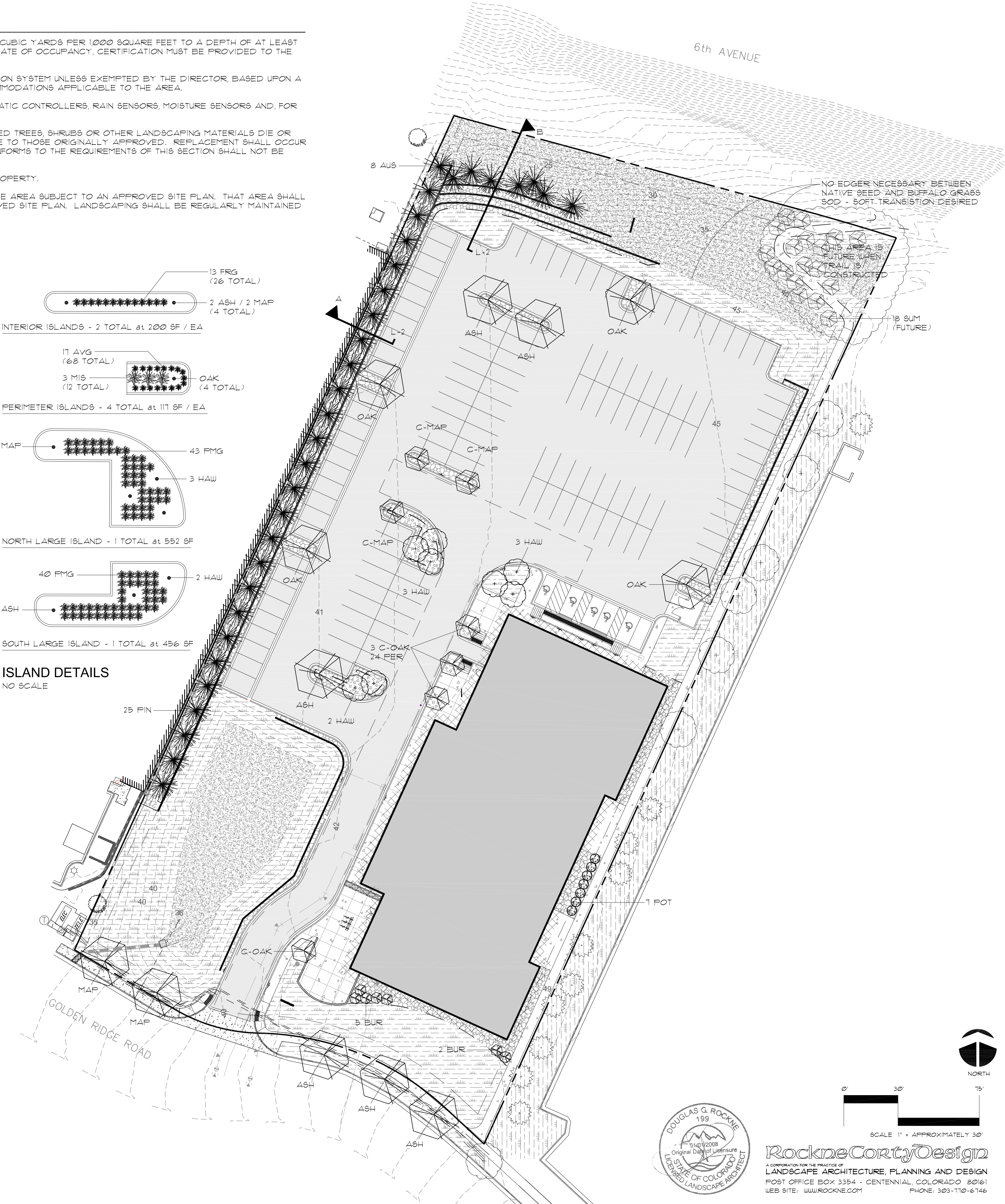
SYMBOL	QUANTITY	LANDSCAPE ELEMENT
	9,311 SF	GRAY ROSE COBBLESTONE 6" - 12" SIZE OVER WEED BARRIER FABRIC
	14,614 SF	NATIVE GRASS (EXISTING AND NEW SEED)
	128 SF	WASHINGTON SHREDDDED CEDAR (NO WEED BARRIER)
	20,023 SF	THICK CUT BUFFALO GRASS SOD
	44,616 SF	TOTAL LANDSCAPED AREA
	N/A	OFF SITE TURF GRASS (SHOWN FOR COORDINATION)
	229 LF	SEGMENTAL CONCRETE EDGERS (PAVESTONE 'VENETIAN' - DARK)
		EXISTING TREES - OFF SITE (SHOWN FOR COORDINATION)

SITE LEGEND

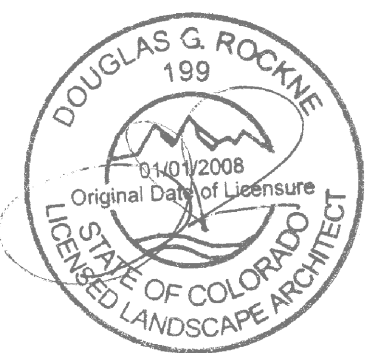
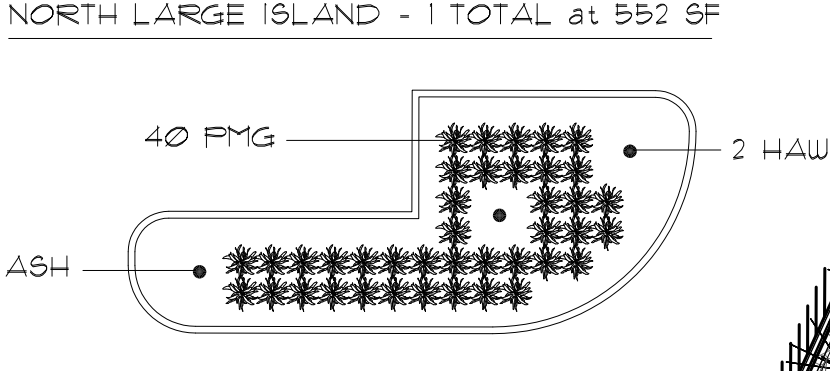
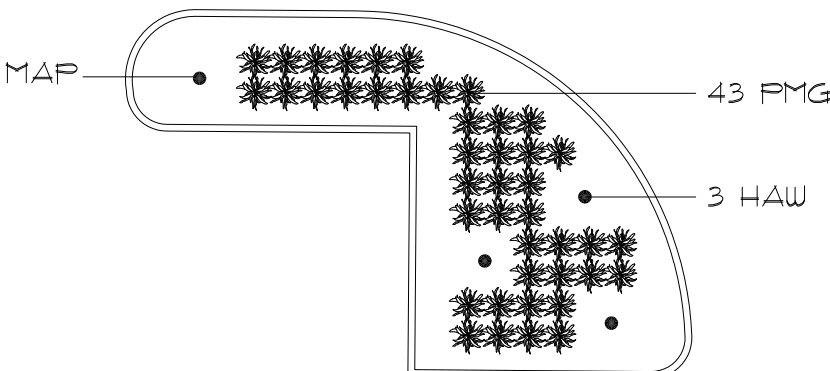
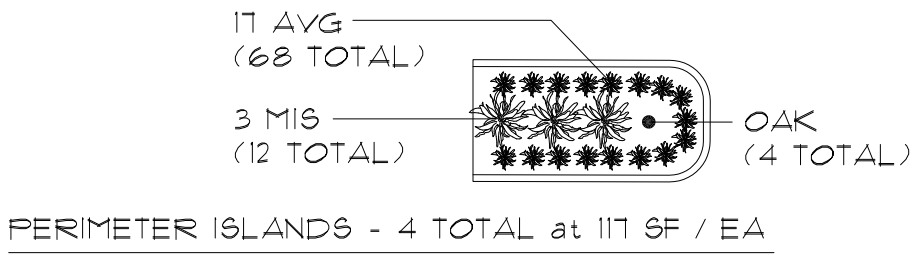
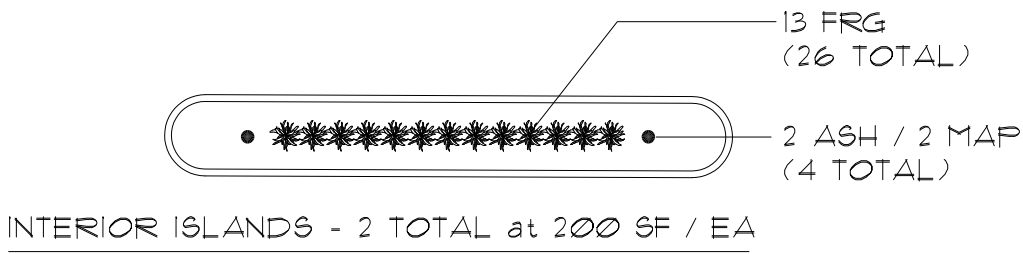
SYMBOL	DESCRIPTION
	BUILDING FOOTPRINT
	PARKING LOT
	CONCRETE WALKS AND PATIO
	5' NO WATER ZONE DUE TO EXPANSIVE SOILS
	SEGMENTAL BLOCK RETAINING WALLS
	SIGNS (2 SHOWN)
	3' PATIO SCREEN WALLS
	BIKE RACK

PLANT LIST

SYMBOL	CODE	QUAN	COMMON NAME	BOTANIC NAME	SIZE / ROOT	XERIC
DECIDUOUS CANOPY TREES						
	MAP	2	EMERALD QUEEN NORWAY MAPLE	ACER PLATANOIDES 'EMERALD QUEEN'	2½" CAL - B4B	N
	OAK	4	NORTHERN RED OAK	QUERCUS RUBRA	2½" CAL - B4B	N
	ASH	6	AUTUMN PURPLE ASH	FRAXINUS AMERICANA 'AUTUMN PURPLE'	2½" CAL - B4B	N
COLUMNAR DECIDUOUS TREES						
	C-MAP	3	COLUMNAR NORWAY MAPLE	ACER PLATANOIDES 'COLUMNARE'	2½" CAL - B4B	N
	C-OAK	4	COLUMNAR OAK 'CRIMSON SPIRE'	QUERCUS 'CRIMSCHMIDT'	2½" CAL - B4B	N
EVERGREEN TREES						
	AUS	8	AUSTRIAN PINE	PINUS NIGRA	6' HT - B4B	Y
	PIN	25	PINION PINE	PINUS EDULIS	6' HT - B4B	Y
ORNAMENTAL TREES						
	HAW	8	COCKSPUR HAWTHORNE (THORNLESS)	CRATAEGUS CRUS-GALLI 'INERMIS'	2½" CAL - B4B	Y
TALL DECIDUOUS SHRUBS (8' - 12' HT)						
	SUM	12	SMOOTH SUMAC	RHUS GLABRA	NO. 5 CONTAINER	Y
MEDIUM DECIDUOUS SHRUBS (4' - 6' HT)						
	BUR	1	DWARF BURNING BUSH	EUONYMUS ALATUS COMPACTA	NO. 5 CONTAINER	N
LOW DECIDUOUS SHRUBS (LESS THAN 4' HT)						
	POT	1	RED ROBIN POTENTILLA	POTENTILLA FRUTICOSA 'RED ROBIN'	NO. 5 CONTAINER	N
ORNAMENTAL GRASSES (2' to 6' HT)						
	FRG	26	FEATHER REED GRASS	CALAMAGROSTIS 'KARL FORRESTER'	NO. 1 CONTAINER	N
	MIS	12	MORNING LIGHT MISCANTHUS	MISCANTHUS SINENSIS 'MORNING LIGHT'	NO. 5 CONTAINER	N
	PMG	23	PURPLE FLAME MAIDEN GRASS	MISCANTHUS SINENSIS 'PURPURESCENS'	NO. 1 CONTAINER	N
	AVG	68	BLUE AVENA GRASS / OAT GRASS	HELICTOTRICHON SEMPERVIRENS	NO. 1 CONTAINER	Y
PERENNIALS						
	PER	24	PERENNIALS	TO BE DETERMINED	NO. 1 CONTAINER	Y



ISLAND DETAILS  
NO SCALE



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A CORPORATION FOR THE PRACTICE OF  
LANDSCAPE ARCHITECTURE, PLANNING AND DESIGN  
POST OFFICE BOX 3354 - CENTENNIAL, COLORADO 80161  
WEB SITE: WWW.ROCKNE.COM PHONE: 303-710-6146

Submission / Revision  
10/23/2012 SITE DEVELOPMENT PLAN  
11/9/2012 RESUBMITTAL #1

Date  
11/9/2012

deb construction company, inc.  
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NEW BUILDING FOR  
EARTH TREKS

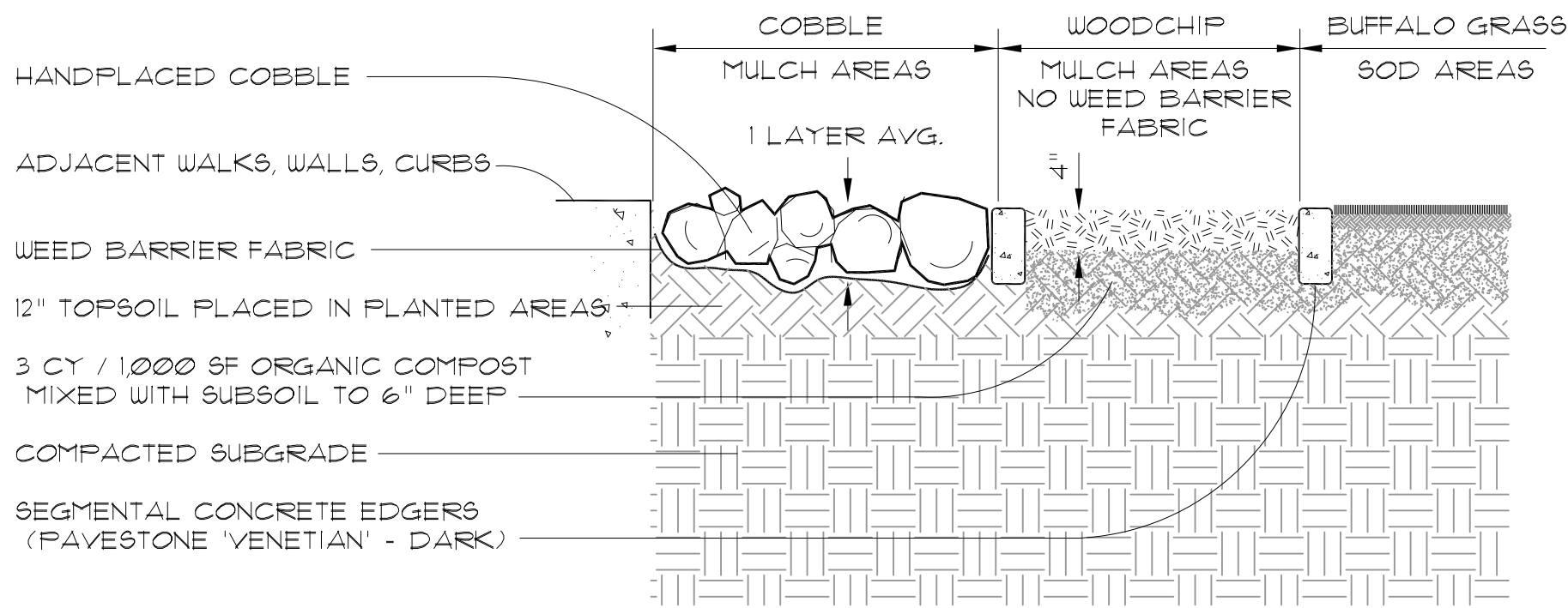
GOLDEN RIDGE ROAD  
GOLDEN, CO 80401

Design Project No.

Drawing Title  
LANDSCAPE PLAN

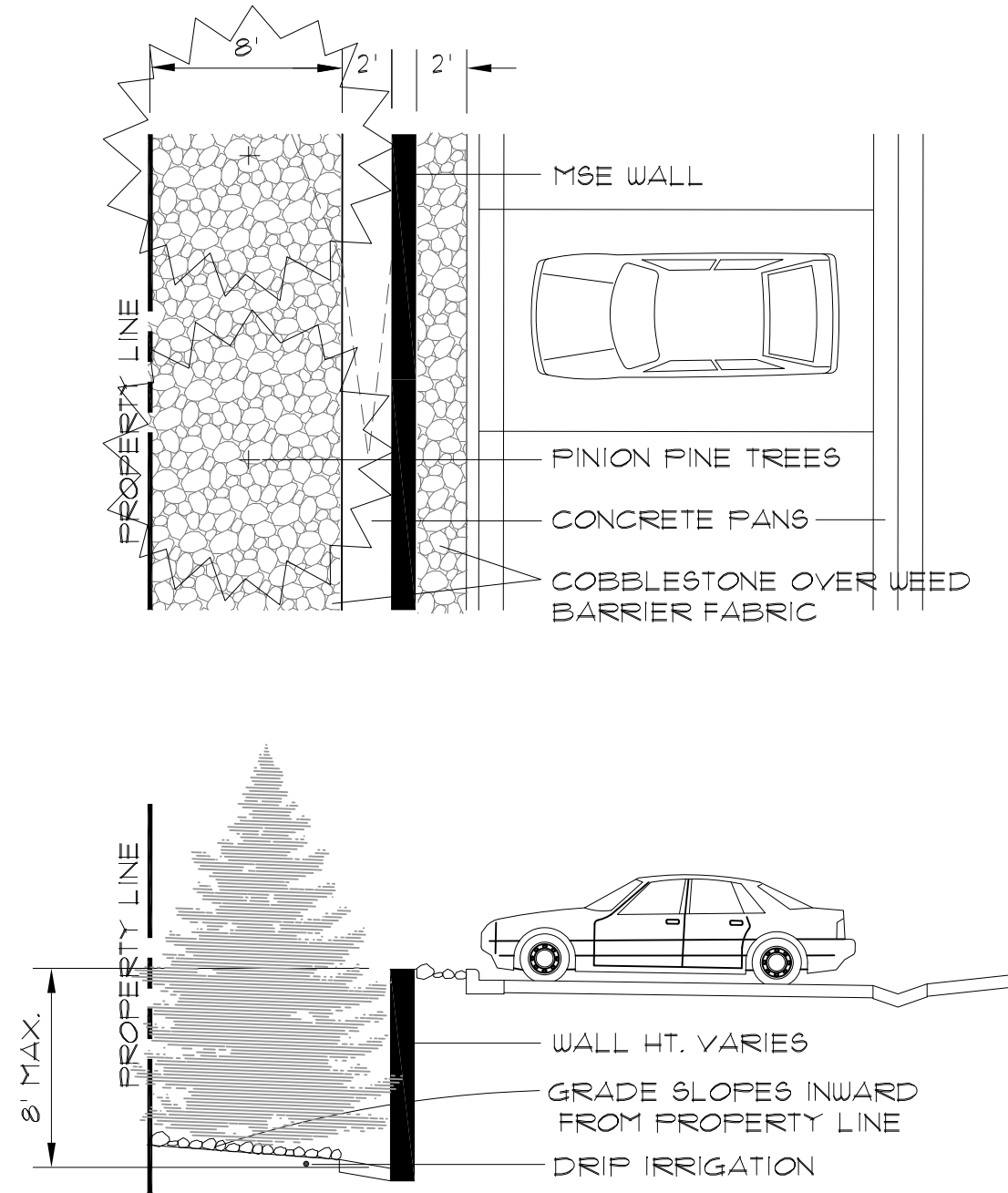
Drawing No.  
L-1



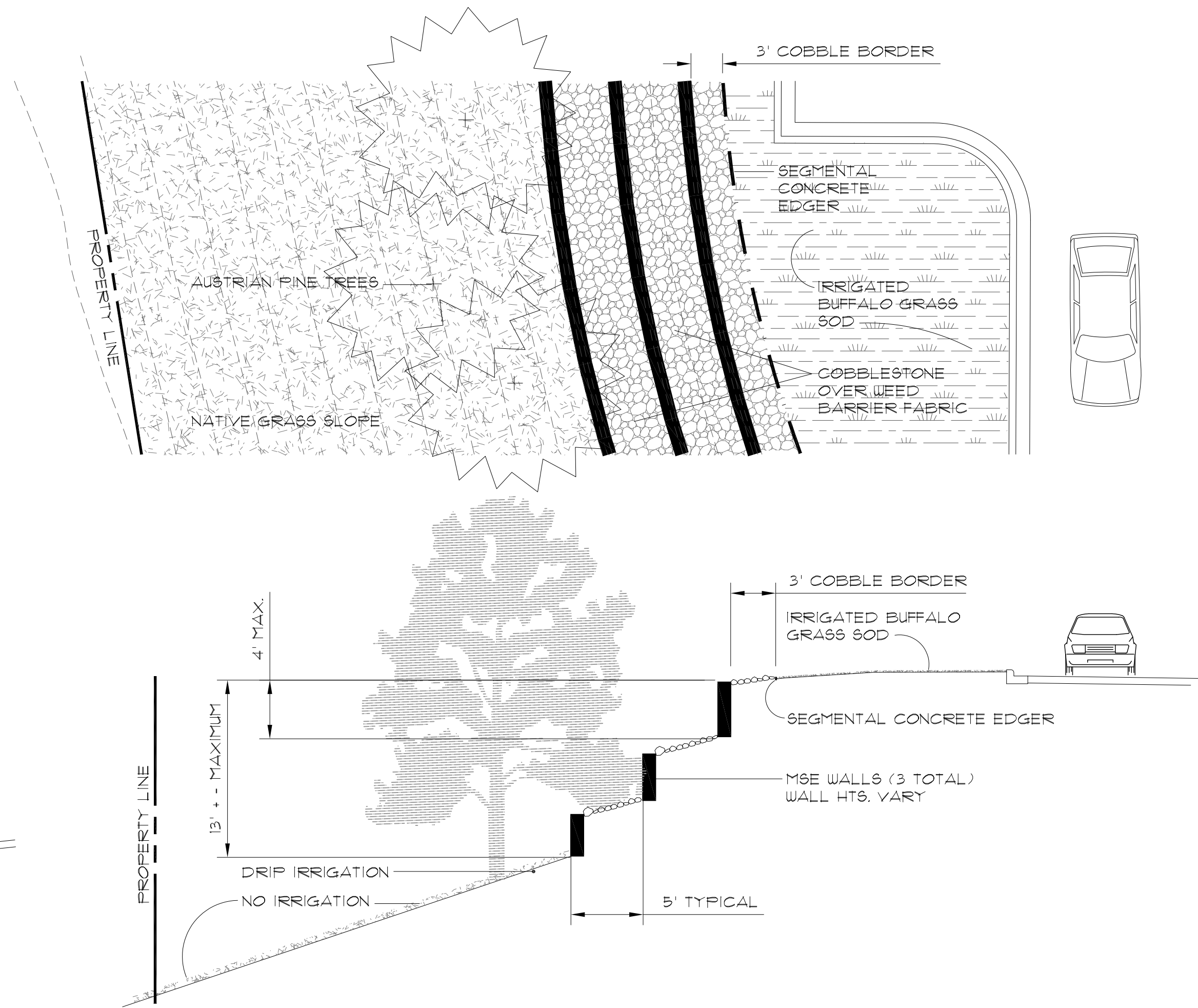


NOTE: TOPSOIL PLACEMENT AND SOIL AMENDMENT DOES NOT APPLY IN THE 5' NO-WATER ZONE AROUND THE BUILDING AND IN AREAS NOT PLANTED OR DISTURBED.

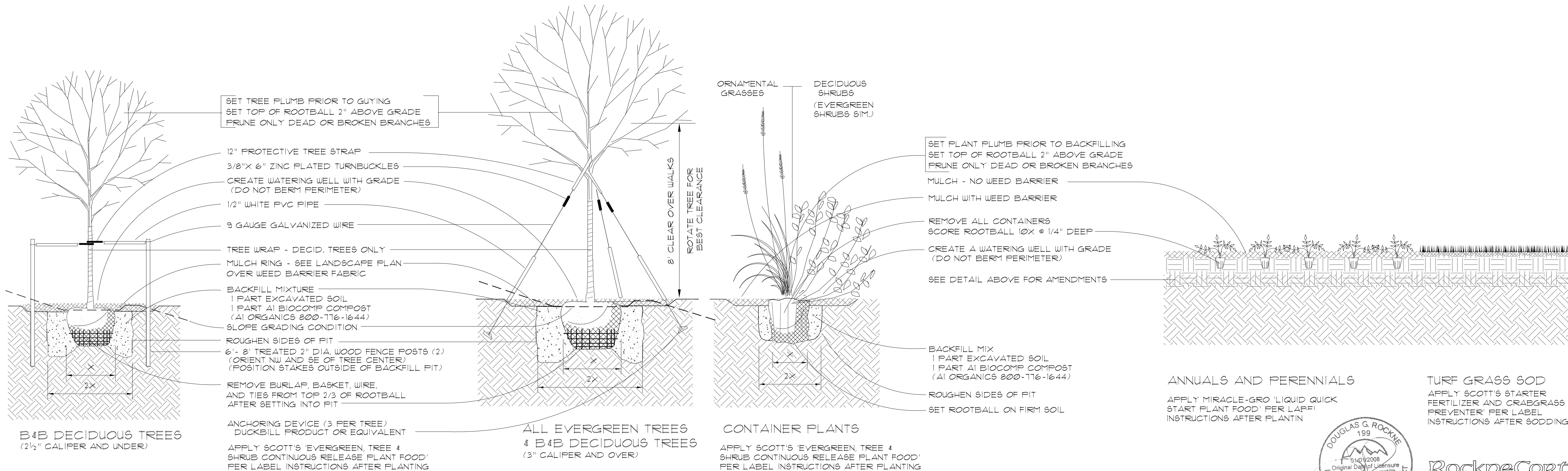
EDGERS, MULCHES, TOPSOIL, SOD AND GRADE RELATIONSHIPS



WEST PLANTER WALL - SECTION A



NORTH TERRACE WALLS - SECTION B



PLANTING DETAILS



# EARTH TREKS

## PROPOSED MATERIALS



PREFINISHED METAL TRIM  
AND PAINTED STEEL



PREFINISHED STANDING SEAM  
METAL ROOF



PREFINISHED VERTICAL  
METAL RIBBED WALL PANEL



PREFINISHED HORIZONTAL  
METAL RIBBED WALL PANEL



CONCRETE MASONRY UNIT  
GROUND FACE



CONCRETE MASONRY UNIT  
SPLIT FACE



# Earth Treks

Golden Ridge Subdivision - Lot 2, Block 1, Filing No. 4

11/12/2012

Menu Item	Points	Documentation Required	Estimated Points Earned	Description of Method of Obtaining Points -
<b>Stormwater and Water Quality</b>				
1. Utilize porous surfaces such as grass pavers and porous pavement for paved areas on site. Points awarded on a sliding scale, with 1 point for every 500 sf of pavement that is porous.	1-10	Applicant shall show porous paved areas on the site plan, as well as calculation of porous vs. non-porous pavement. Product specification sheet and maintenance plan must also be submitted with building plans.	10	5,000 square feet of porous pavement area will be provided. See Site Plan
2. Plant a vegetated roof for a portion of the roof area. Points awarded on a sliding scale, with 1 point for every 10% of vegetated roof area.	1-10	A vegetated roof plan shall be submitted with landscape plan that shows what will be planted, how it will be irrigated and a roof area calculation.	0	
3. Exceed open space requirement by 25% or more. Only landscaped areas are counted toward this additional 25%.	2	Site plan shall show area of open space as well as calculation to demonstrate how it exceeds requirement by 25%.	2	Landscape area comprises 44,247 square feet which is 35.3% greater than the 32,710 square feet required.
		<b>Stormwater and Water Quality Subtotal</b>	<b>12</b>	
<b>Transportation</b>				
1. Provide double the minimum of the required amount of bicycle parking on site.	1	Must demonstrate locations and amount of bicycle parking on site plan.	1	At 5% of 140 parking spaces, 7 bike spaces are required. 14 bike spaces will be provided. See Floor Plan.
2. Provide number of shower units for a minimum of 2% of all full time equivalent employees.	1	Building plans shall show location of shower facility, number of showers and calculation of showers to projected number of full time equivalent employees.	1	2 showers each for men and women are provided in the locker rooms. See Floor Plan.
3. Build development within ¼ mile of public bus stop or ½ mile of light rail stop, as measured using a pedestrian's walking distance.	3	Applicant must provide map to scale that demonstrates site boundaries, identifies location of transit stop, and shows walking path and distance between them. Map shall also identify potential barriers for pedestrians.	3	Per the South Neighborhoods Plan, Section 3.3.2 calls for future plans integrating the light rail system to service Golden Ridge by means of a pedestrian bridge adjacent to the Panorama Development directly to the east of this property.
4. Provide, maintain and install a bus shelter if a stop is in or adjacent to the right-of-way.	2	Site Plan shall demonstrate location and type of pedestrian amenities, as well as location of bus stop if applicable. Product specification sheets are also required.	0	
5. Provide preferred parking for 5% of parking spaces to serve car/van pool vehicles.	1	Site Plan shall designate location and amount of preferred parking, and product image of proposed signage also required.	1	At 5% of 135 parking spaces, 7 preferred spaces are required. 7 spaces will be provided. See Site Plan.
6. Install electric plug-in stations for hybrid and electric vehicles for 3% of the total vehicle parking spaces on site.	2	Demonstrate location and number of stations on site plan, as well as provide product specification sheets.	2	At 3% of 135 parking spaces, 4 plug-in spaces are required. 4 spaces will be provided. See Site Plan.
7. Restrict parking on site to the minimum number of spaces allowed by code. Only standard aisles and spaces allowed unless under exclusive easement.	3	Site plan shall show parking layout and number of spaces provided, as well as calculation of minimum required.	0	
		<b>Transportation Subtotal</b>	<b>8</b>	



City of Golden  
Sustainability Points Worksheet

Menu Item	Points	Documentation Required	Estimated Points Earned	Description of Method of Obtaining Points -
<b>Energy Efficiency</b>				
1. Increase energy efficiency of structure by 15% over currently adopted IECC code requirement for 3 points. Thereafter, points awarded on a sliding scale with 1 point for every 5% increase in energy efficiency, up to 10 points.	3-10	Complete REScheck or COMcheck Compliance Certificate for interior and exterior lighting, building envelope, and mechanical equipment, and provide proof of energy modeling that demonstrates projected energy efficiency.	3	Building electrical and mechanical systems will be designed to provide at least the 15% increase in efficiency. The required documentation will be provided with the building permit submittal.
2. Offset traditional energy usage with renewable energy production on site. There will be 1 point awarded for each 4% reduction in energy use, ending with 25 points for a net zero building that produces as much power as it consumes.	1-25	Applicant must demonstrate the projected energy usage of the structure and calculate the percentage of that power that will reliably be produced on site. Building Department staff will verify the model and projected renewable energy component.	0	
3. Plant at least 20% additional trees than otherwise required to maximize shade in summer (deciduous east, west, south), provide a wind break in winter (evergreens to north) and reduce the urban heat island effect in parking areas and throughout the site.	3	Landscape plan shall demonstrate location and type of trees to be planted, and show the number of trees required versus number proposed.	3	Per current landscape requirements, 50 trees are required. See landscape plan for the addition of 20% more trees for a total of 60 trees.
4. Place 50% of parking either under cover with a roof that has a minimum SRI (Solar Reflectance Index) of 29, or beneath finished living space in order to reduce urban heat island effect.	4	Site and building plans shall detail covered parking along with method and proof of SRI achieving SRI requirement.	0	
5. Construct the building and/or roof to be elongated on an east-west axis, with south facing windows that receive sunlight between the hours of 9:00 A.M. and 3:00 P.M. (sun exposure) during the heating season.	3	Demonstrate by using solar path diagram, and identifying percentage of south facing window area.	0	
6. Provide separate meters for tenant occupied spaces for electricity. For natural gas, provide separate meters for tenant spaces 10,000 sf. or more.	2	Building plans shall display location and number of meters.	0	
		<b>Energy Efficiency Subtotal</b>	<b>6</b>	



Menu Item	Points	Documentation Required	Estimated Points Earned	Description of Method of Obtaining Points -
<b>Community Preservation and Revitalization</b>				
1. Preserve an existing structure when increasing square footage or creating additional structures. Points awarded on a sliding scale with 1 point for the first 1,000 sf and then 1 for every 1,000 sf thereafter, up to a maximum of 10 points.	1-10	Site plan and building plans shall both reflect the building square footage being preserved on site.	0	
2. Add affordable housing units (as defined by HUD) to a project. Points awarded on a sliding scale, with 2 points awarded for every affordable unit created up to a maximum of 10 points. Must also fulfill requirements under Transportation #3 and Energy Efficiency #1 of this menu to receive points.	2-10	Demonstrate at site plan review and at building permit review with details on size and price points of units. Deed restriction is required, and proof shall be provided in order to get c/o.	0	
3. Choose an infill site, which can be no greater than one half acre in size, and is defined here by having paved or developed lots adjacent, or across a right-of-way, on at least two sides of the property.	3	Demonstrate at site plan review by showing contextual view of adjacent developed lots.	0	
4. Choose a brownfield site, defined by the EPA as the "presence or potential presence of a hazardous substance, pollutant, or contaminant,"	5	Demonstrate at site plan review with documentation that shows the type and amount of site contamination. Remediation plans shall be required at building permit.	0	
5. Provide community garden plots for a minimum of 15% of multifamily units to foster local food production. Plots must be a minimum of 20 square feet each.	2	Landscape plan shall show location, size and number of garden plots, and provide evidence that garden plots are easily accessible, of appropriate slope, and contain adequate sunlight and an available water source.	0	
6. Provide compost bin location on the property with contract for pick-up service.	1	Site plan shall show location of compost bin, and proof of contract for pick-up service required at building permit.	0	
		<b>Community Preservation and Revitalization Subtotal</b>	<b>0</b>	
<b>Miscellaneous</b>				
1. Planning Commission may reward applicants for sustainable design elements not covered by this menu. Consideration will be given for scale, efficiency or innovation, and points will be awarded at the discretion of the Planning Commission.	Varies	Documentation requirement shall be tailored to proposed plan. In order to qualify for points, an applicant must be able to demonstrate that the proposed project attains a measurable achievement in one of the other four categories of menu items.	0	
2. Sustainability Menu requirements and associated point system shall be waived if project achieves LEED certification.	N/A	Provide LEED registration and completed LEED checklist for site plan review. Construction drawings and LEED templates required for building permit.	0	
		<b>Miscellaneous Subtotal</b>	<b>0</b>	

**Total Points      26**