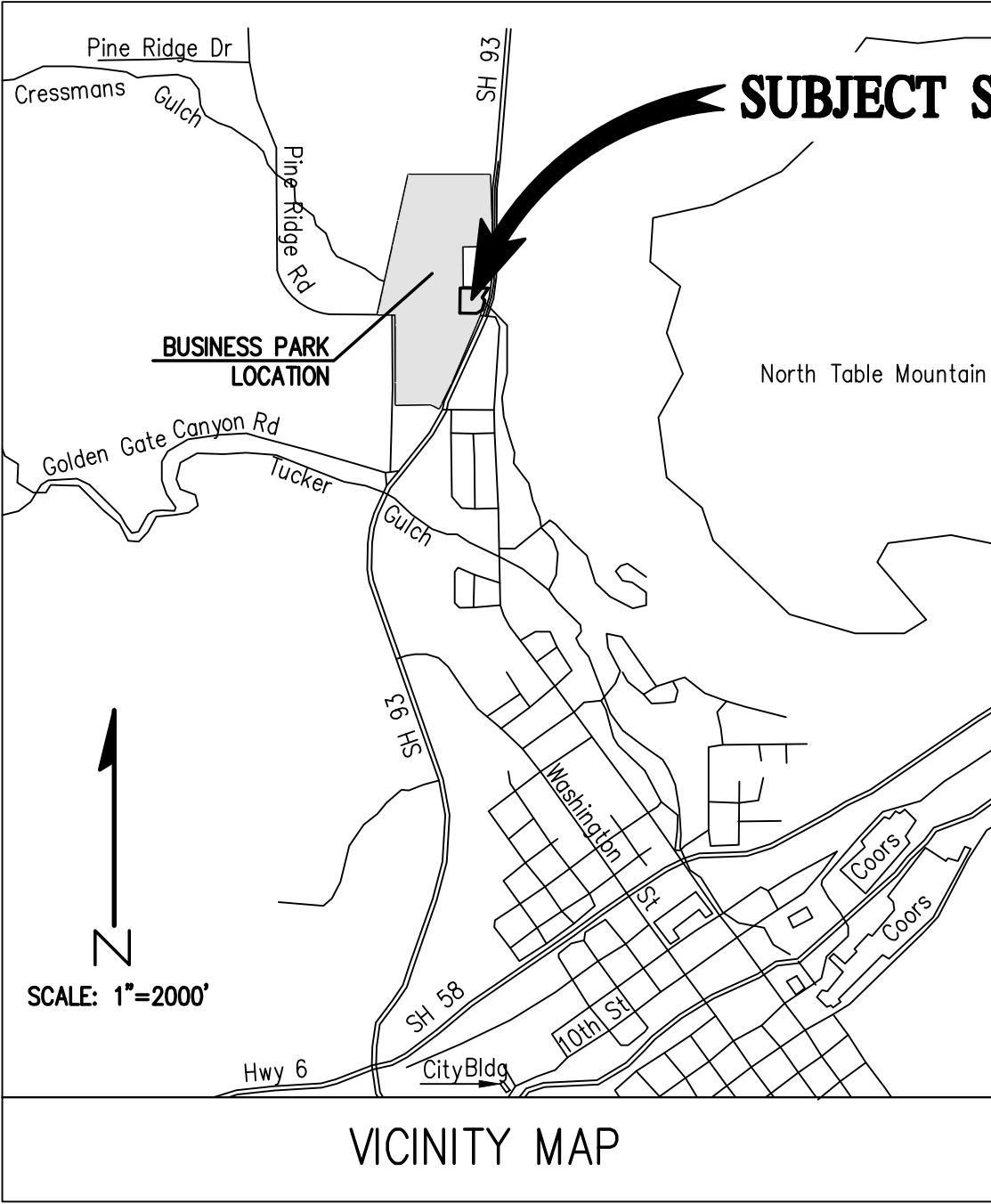


M:\\_Golden Survey Projects\co-3214 - Slee Offroad at Canyon View\Drawings\Civil\co3214 Cover SDP.dwg, 7/6/2016 12:19:32 PM, Thomas Chesson

# SITE DEVELOPMENT PLANS SLEE OFF ROAD EXPANSION

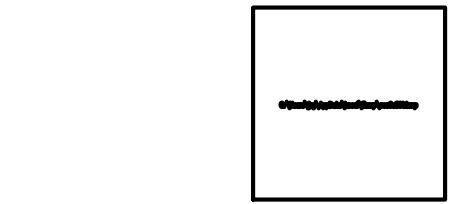
LOCATED IN THE WEST 1/2 OF SECTION 21, TOWNSHIP 3 SOUTH, RANGE 70 WEST  
OF THE 6th PRINCIPAL MERIDIAN  
CITY OF GOLDEN, JEFFERSON COUNTY, COLORADO



## INDEX OF SHEETS

NO.	SHEET TITLE
C1	COVER SHEET
C3	SITE PLAN
C5	GRADING PLAN
101	FLOOR PLANS
102	FLOOR PLANS
105	ELEVATIONS
106	ELEVATIONS
ESL-1	LIGHTING PLAN
LS-1	LANDSCAPE PLAN
LS-2	LANDSCAPE DETAILS

PROJECT BENCHMARK	BASIS OF BEARINGS
PROJECT BENCHMARK: NGS B.M. #D 411" METAL ROD DRIVEN INTO GROUND IN A MONUMENT BOX. ELEV=5552.96' (NGVD88).	THE NORTH LINE OF CANYON VIEW BUSINESS PARK FILING NO. 1 REPLAT C, BEARS N 89°46'51" E



### OWNER

SLEE OFF ROAD  
7000 PINE RIDGE ROAD  
GOLDEN, CO 80401  
CONTACT:  
303.278.8287

### CIVIL ENGINEER

BASLINE ENGINEERING  
1950 FORD STREET  
GOLDEN, CO 80401  
CONTACT: NOAH NEMMERS, P.E.  
303.940.9966

### ARCHITECT

DARIN WEISS, ARCHITECT AIA  
DESIGN & DEVELOPMENT CONSULTANT  
T-BONE CONSTRUCTION INC.  
1310 FORD ST.  
COLORADO SPRINGS, CO 80915  
719.570.1456 OR 719.623.3314

### MUNICIPALITY

CITY OF GOLDEN  
1445 10TH STREET  
GOLDEN, CO 80401  
(303) 384-8097

### PROPERTY MAINTENANCE

MAINTENANCE OF AREA IN COMPLIANCE WITH CHAPTER  
18.40 OF THE CITY OF GOLDEN MUNICIPAL CODE WILL BE  
THE RESPONSIBILITY OF THE OWNER

### SIGNATURES

#### CITY OF GOLDEN PLANNING COMMISSION

APPROVED BY THE CITY OF GOLDEN PLANNING COMMISSION

THIS \_\_\_\_\_ DAY \_\_\_\_\_ 2016

CHAIRMAN

SECRETARY

#### OWNERSHIP CERTIFICATE

SIGNED THIS DAY \_\_\_\_\_ DAY OF \_\_\_\_\_ 2016

BY \_\_\_\_\_

#### NOTARIAL

STATE OF \_\_\_\_\_

COUNTY OF \_\_\_\_\_

THE FOREGOING SIGNATURE WAS ACKNOWLEDGED BEFORE ME THIS

\_\_\_\_\_ DAY OF \_\_\_\_\_

\_\_\_\_\_



Engineering - Planning - Surveying  
1950 FORD STREET • GOLDEN, COLORADO 80401  
P. 303.940.9966 • F. 303.940.9966 • www.baselinecorp.com

DESIGNED BY	TGR
DRAWN BY	JDD
CHECKED BY	NJN

DATE	7/6/16
PREPARED BY	NJN

REVISION	DESCRIPTION
PER CITY REVIEW	













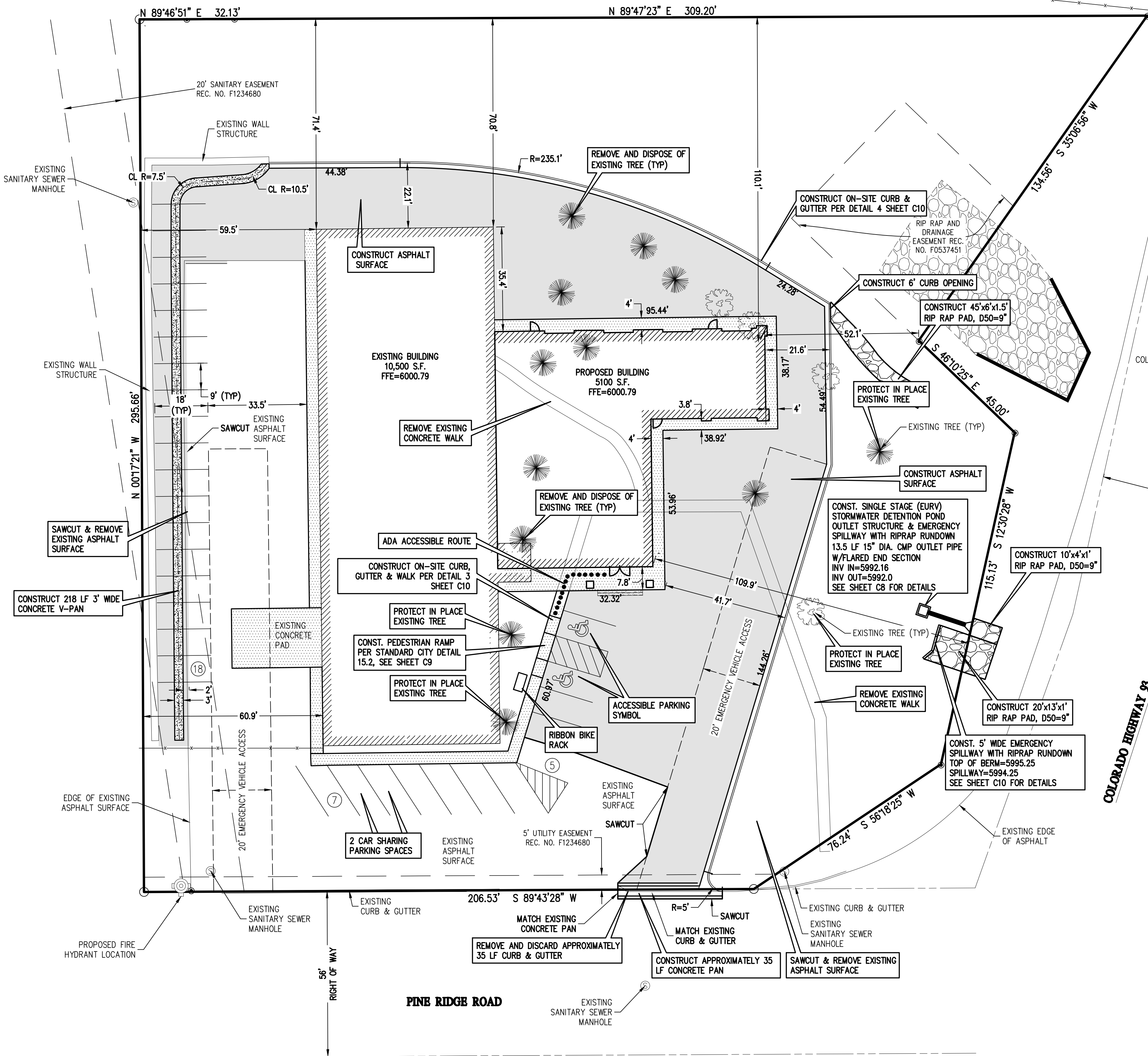








Know what's below.  
Call before you dig.



#### LEGEND

EXISTING LINETYPES	PROPOSED LINETYPES	
		PROPERTY BOUNDARY
		EASEMENT
		RETAINING WALL
		CURB AND GUTTER (SPILL/CATCH)
		EDGE OF BUILDING
		DITCH FLOWLINE

EXISTING SYMBOLS	PROPOSED SYMBOLS	
		FOUND PROPERTY PIN AS DESCRIBED
		ADA PARKING STALL
		SANITARY MANHOLE
		FIRE HYDRANT
		ASPHALT PAVING - REFER TO SOILS REPORT FOR PAVING SECTION
		SIDEWALK PAVING (4\"/>
		CONCRETE PAVING

SITE DATA TABLE		
SITE AREA:		83,758.98 S.F.
BUILDING AREA:	EXISTING	10,500 S.F.
BUILDING AREA:	PROPOSED	5,100 S.F.
BUILDING COVERAGE:	EXISTING	12.5%
BUILDING COVERAGE:	PROPOSED	6.1%
GROSS FLOOR AREA:		16,957 S.F.
PAVING AREA:		34,211 S.F.
PARKING SPACES	PROVIDED:	30
	REQUIRED:	30
HANDICAP SPACES	PROVIDED:	2
	REQUIRED:	2
ZONING DISTRICT:		
LAND USE:	ALL USES PERMITTED BY RIGHT IN M1 & M2 DISTRICTS	
INTENDED USE:	WAREHOUSE / MANUFACTURING	
LEGAL DESCRIPTION: LOT 29 OF CANYON VIEW BUSINESS PARK FILING 1, AND LOT 3 OF CANYON VIEW BUSINESS PARK FILING NO. 1 REPLAT C. HAVE REPLATTED THE SAME UNDER THE NAME AND STYLE OF CANYON VIEW BUSINESS PARK FILING NO. 1 REPLAT D, LOCATED IN THE WEST 1/2 OF SECTION 21, TOWNSHIP 3 SOUTH, RANGE 70 WEST OF THE 6TH P.M., COUNTY OF JEFFERSON, CITY OF GOLDEN, STATE OF COLORADO.		
* ALL IMPROVEMENTS SHOWN SHALL BE MAINTAINED BY THE PROPERTY OWNER.		

#### SUSTAINABILITY MENU

Menu Item	Points	Estimated Points Earned	Description of Method of Obtaining Points -
<b>Water Conservation, Storm Water, and Water Quality</b>			
4. Use water conservation measures, including sub 1-gallon flush urinals, dual flush toilets, low flow faucets and showerheads, drip irrigation with rain sensors and industrial conservation measures.	1-3	3	Sub 1-gallon flush urinals, low flow faucets and showerheads.
		3	
<b>Transportation</b>			
1. Provide double the minimum of the required amount of bicycle parking on site for one point. One additional point available for providing a bike repair station, and one additional point for providing secure and enclosed parking (e.g. lockers, storage room) for at least 50% of the bike parking needed for double the minimum amount.	1-3	1	Bike rack provided.
2. Provide number of shower units for a minimum of 2% of all full time equivalent employees.	1	1	Full bath with shower provided.
3. Build development within 1/4 mile of public bus stop or 1/2 mile of light rail stop, as measured using a pedestrian's walking distance. Applicant shall also demonstrate enhanced walkability by establishing connections to transit and surrounding areas.	2	2	Within 1/4" mile of bus stop.
7. Restrict parking on site to the minimum number of spaces allowed by code. Car share spaces shall reduce the required minimum spaces by a 1:1 ratio. Only standard aisles and spaces allowed unless under exclusive easement.	3	3	Minimizes parking to required amount.
8. Add designated and signed car share space(s) to site.	2	2	provided car shared parking with sign.
		9	
<b>Energy Efficiency</b>			
1. Increase energy efficiency of structure over currently adopted IECC code requirement. Points are awarded on a sliding scale with one point for every 2% increase in energy efficiency, up to 25 points. Points may be awarded for efficiency gains in specific systems, such as lighting or mechanical, but more points may be awarded for an integrated design approach.	1-25	10	Addition is fully compliant with COcheck.
3. Install building automation system for advanced monitoring, which can include networked controls of multiple building systems, such as heating and cooling, ventilation, daylighting and lighting.	1-4	2	Provided daylighting controlled fixtures.
5. Plant at least 20% additional trees than otherwise required to maximize shade over paved or covered areas in summer (deciduous east, west, south), provide a wind break in winter (evergreens to north) and reduce the urban heat island effect in parking areas and throughout the site.	3	3	Fully landscaped.
8. Install heat reflective roof materials. Minimum 29 SRI (Solar Reflective Index) materials qualify.	2	2	Roofing material provides Minimum 29 SRI.
		17	
<b>Community Preservation and Revitalization</b>			
		0	
<b>Miscellaneous</b>			
		0	
TOTAL		29	

LOT 29



VICINITY MAP

CITY CASE NO. XX-XX

BASELINE

Engineering • Planning • Surveying

1850 FORD STREET • GOLDEN, COLORADO 80401  
P. 303.940.9965 • F. 303.940.9965 • www.baselinescorp.com

DESIGNED BY TGR  
DRAWN BY JDD  
CHECKED BY NJN

DATE 7/6/16  
PREPARED BY NJN

REVISION DESCRIPTION  
PER CITY REVIEW

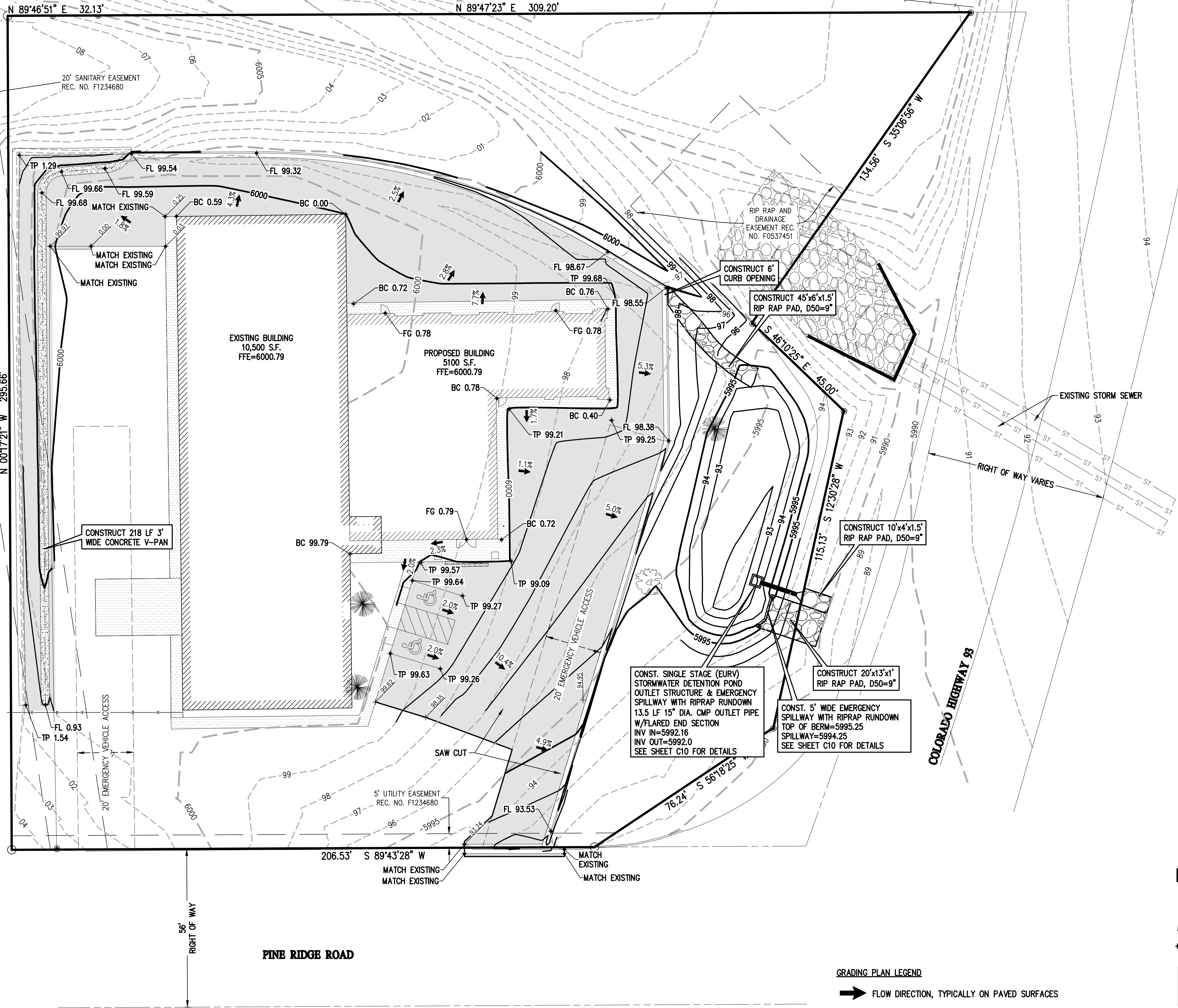
T-BONE CONSTRUCTION  
SLEE OFF ROAD EXPANSION  
700 PINE RIDGE ROAD  
SITE PLAN

GOLDEN  
JEFFERSON

PREPARED UNDER THE DIRECT SUPERVISION OF  
39820  
FOR AND ON BEHALF OF  
BASELINE CORPORATION

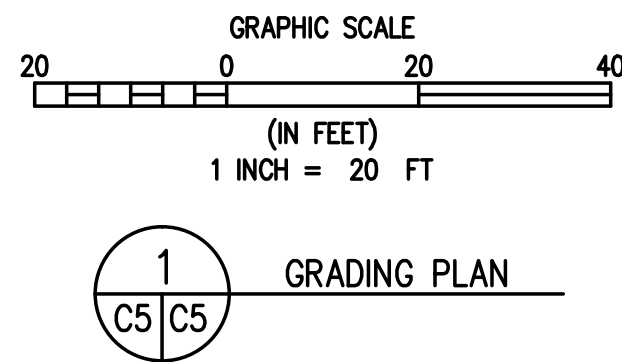
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SURVEY FIRM SURVEY DATE XX/XX/XX  
JOB NO. C03214  
DRAWING NAME co3214 Civil Drawings.dwg  
SHEET 2 OF 10  
C3



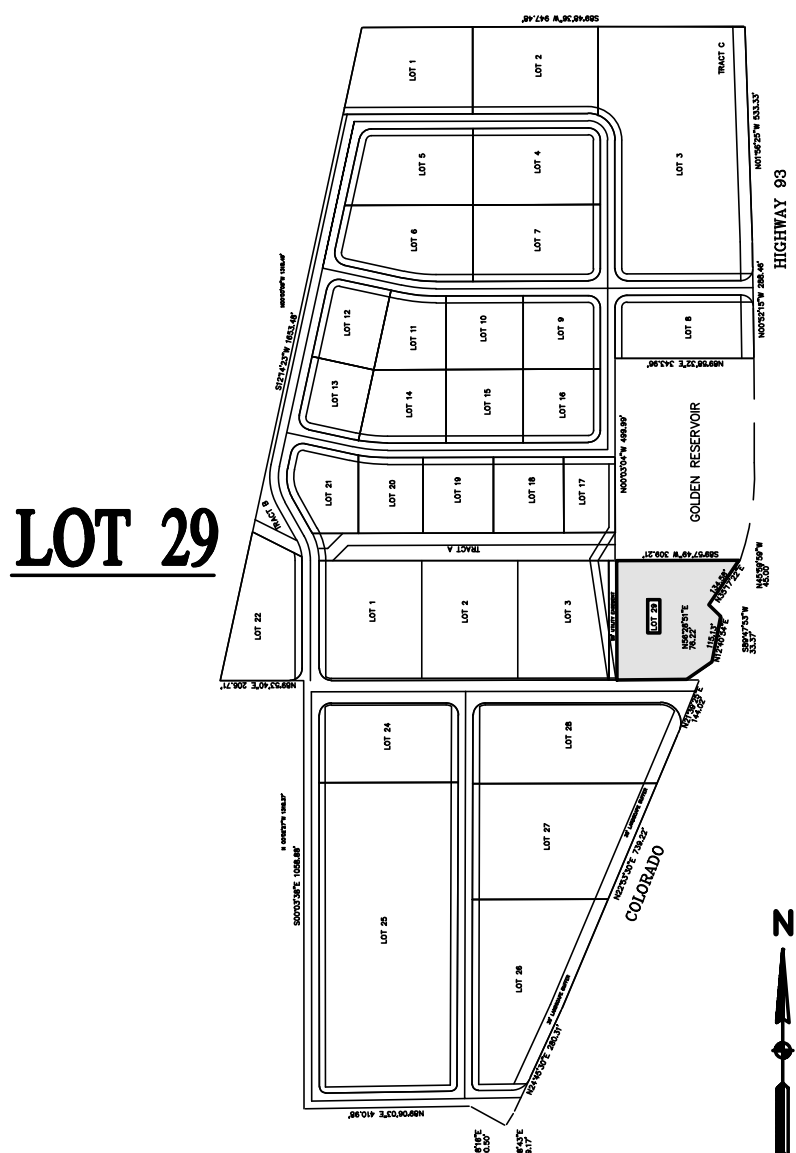


GRADING PLAN LEGEND

- ➔ FLOW DIRECTION, TYPICALLY ON PAVED SURFACES
- ~ FLOW DIRECTION, TYPICALLY IN GRASSED SWALE
- GUTTER FLOW
- SPOT ELEVATION
- TP = TOP OF PAVEMENT
- TC = TOP OF CURB
- FL = GUTTER FLOWLINE ELEVATION
- BC = GRADE IMMEDIATELY OUTSIDE THE BUILDING CORNER
- FFE = FINISHED FLOOR ELEVATION
- 6035 PROPOSED SPOT ELEVATION
- HIGH POINT — — — RIDGE OR HIGH POINT IN PAVING



- NOTES**
1. ALL SIDEWALK SHALL HAVE A 2% MAXIMUM CROSS SLOPE.
  2. THE MAXIMUM SLOPES FOR ADA STALLS SHALL BE A 2.0% IN ALL DIRECTIONS



VICINITY MAP

CITY CASE NO. XX-XX

DESIGNED BY	DATE	PREPARED BY	REVISION DESCRIPTION
TGR	7/6/16	NUN	PER CITY REVIEW
DRAWN BY		JDD	
CHECKED BY		NUN	

**T-BONE CONSTRUCTION**

**SLEE OFF ROAD EXPANSION**  
700 PINE RIDGE ROAD  
GRADING PLAN

GOLDEN

JEFFERSON

PREPARED UNDER THE DIRECT SUPERVISION OF

FOR AND ON BEHALF OF  
BASELINE CORPORATION

39820

PROFESSIONAL ENGINEER

CO 3214 CIVIL

FOR AND ON BEHALF OF  
BASELINE CORPORATION

INITIAL SUBMITTAL	XX/XX/XX
DRAWING SIZE	24" x 36"
SURVEY FIRM	XX/XX/XX
SURVEY DATE	XX/XX/XX
JOB NO.	003214
DRAWING NAME	co3214 Civil Drawings.dwg
SHEET	3 OF 10

C5







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- FW

3 HOUR FIRE BARRIER, METAL STUD FRAMING WITH 3 LAYERS OF 5/8" TYPE-X GYPSUM BOARD ON EACH SIDE.
- MP1

EXTERIOR METAL PANEL, 26 GA. EXPOSED FASTENERS, VERTICAL PROFILE, ON STEEL GIRTS, WITH BATT INSULATION PER IECC.
- MP2

EXTERIOR METAL PANEL, 26 GA. CONCEALED FASTENERS, HORIZONTAL REVEAL PROFILE, ON STEEL GIRTS, WITH BATT INSULATION PER IECC.
- LP

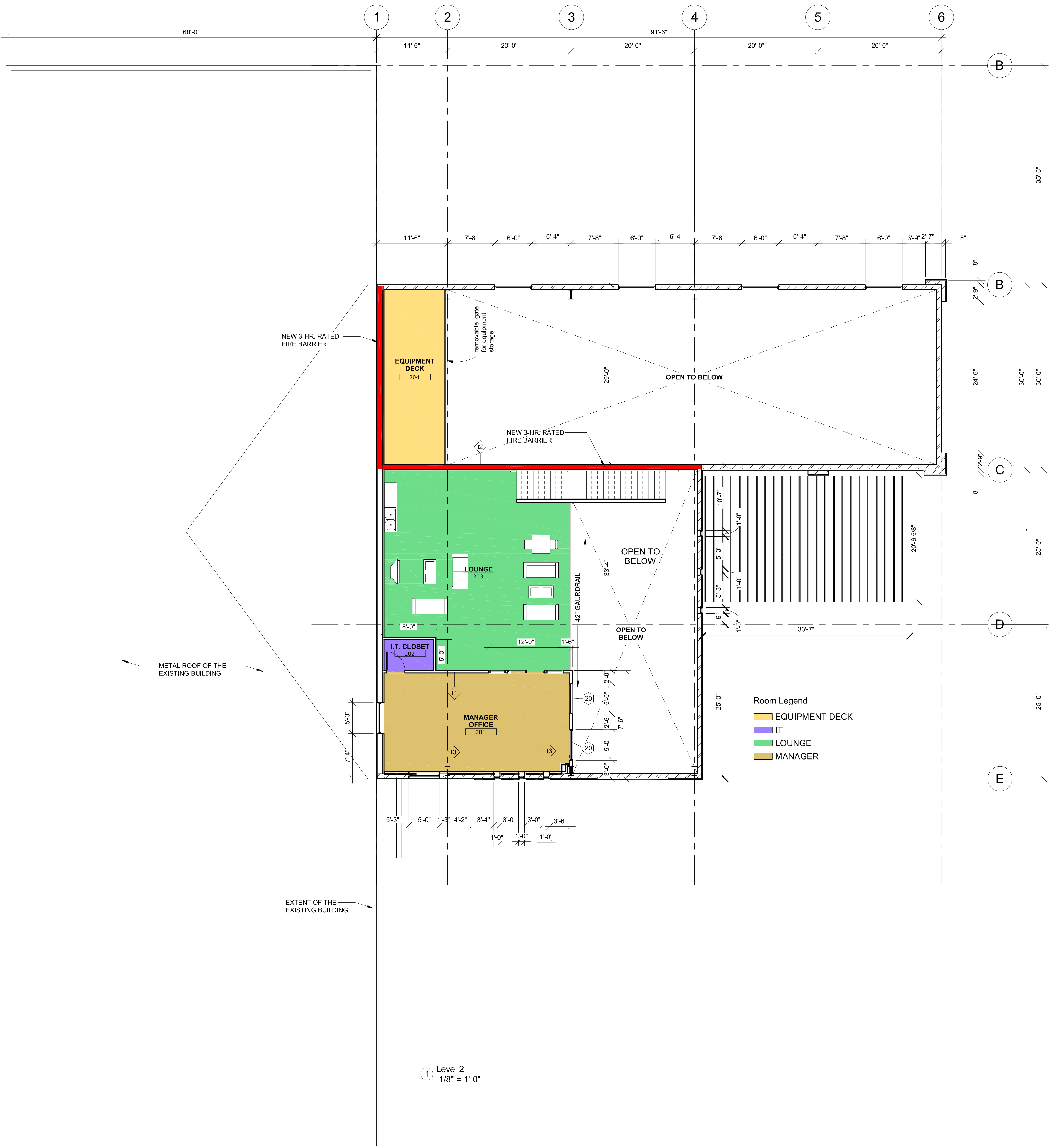
LINER PANEL 8'-0 HT.
- I1

TYPICAL INTERIOR PARTITION  
3-5/8" MTL STUD W/ 5/8" GYP BOTH SIDES:  
FASTEN WITH 1" TYPE S  
GYPSUM BOARD SCREWS 8IN. O.C. TO EDGES AND 12" O.C. TO INTERMEDIATE STUDS
- I2

INTERIOR PARTITION  
6" MTL STUD, SOUND ATTENUATING BATT INSULATION,  
5/8" GYP BOTH SIDES; FASTEN WITH 1" TYPE S  
GYPSUM BOARD SCREWS 8IN. O.C. TO EDGES AND 12" O.C. TO INTERMEDIATE STUDS
- I3

TYPICAL INTERIOR FURRING WALL  
3-5/8" MTL STUD W/ 5/8" GYP ONE SIDE  
ONLY;FASTEN WITH 1" TYPE S  
GYPSUM BOARD SCREWS 8IN. O.C. TO EDGES AND 12" O.C. TO INTERMEDIATE STUDS

WALL LEGEND  
1/2" = 1'-0"



1 Level 2  
1/8" = 1'-0"

DATE: 05-27-2016  
CHK BY: Checker  
DRAWN BY: Author

CHRISTO SLEE  
700 Pine Ridge Rd # 2, Golden, CO 80403  
DESIGN DEVELOPMENT

102  
UPPER LEVEL

Design Development Consultants @

SLEE OFF ROAD

T1-5178

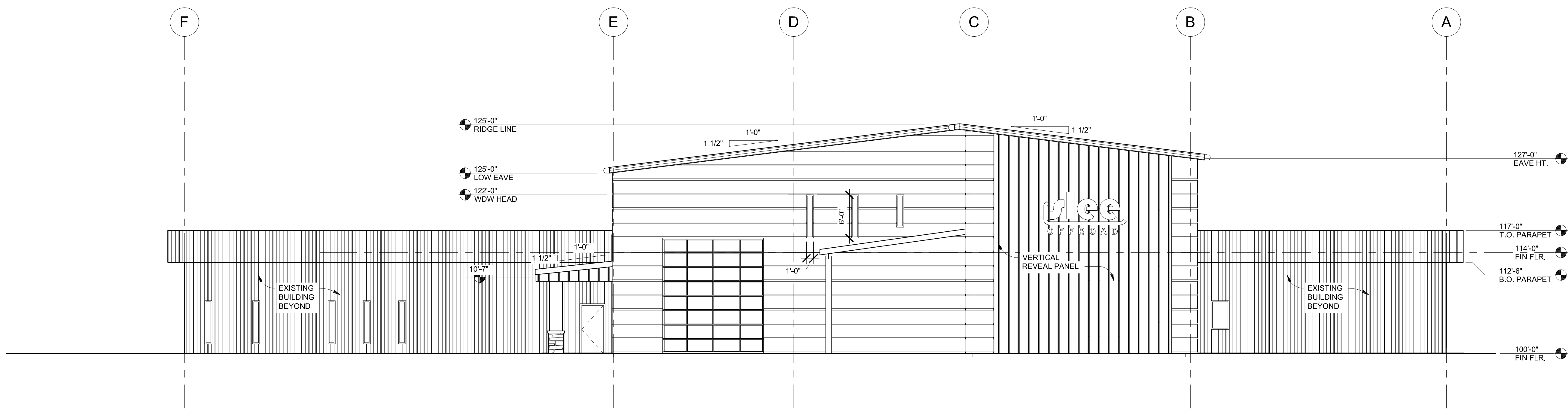
ALL RIGHTS RESERVED

1310 FORD STREET  
COLORADO SPRINGS, CO 80915

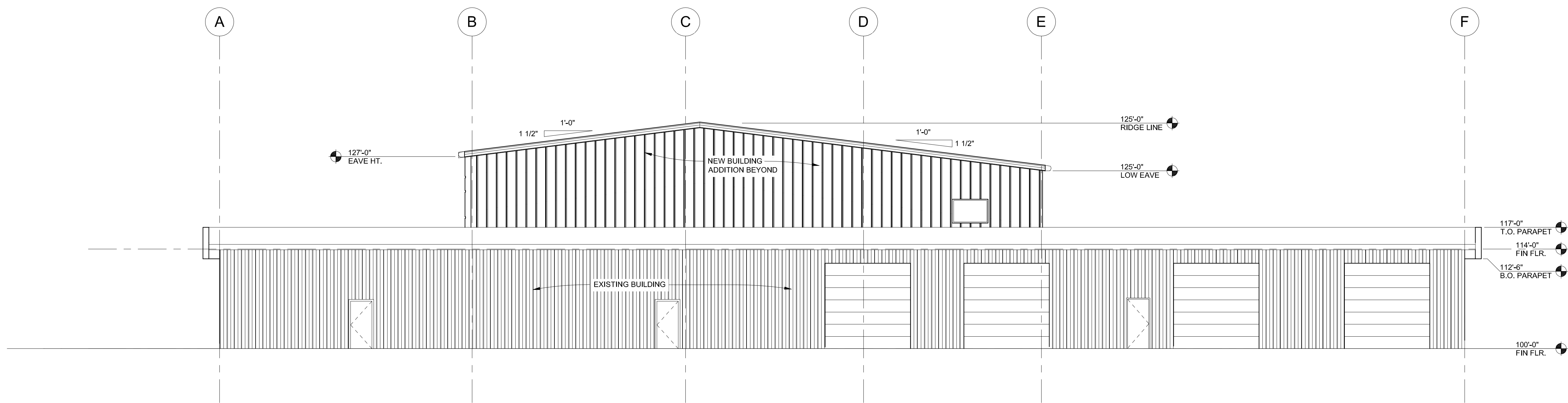
(719) 570-1466



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① East  
1/8" = 1'-0"



② West  
1/8" = 1'-0"

PROGRESS DRAWINGS. NOT FOR CONSTRUCTION

DATE:		CHRISTO SLEE	
05-27-2016		700 Pine Ridge Rd # 2, Golden, CO	
CHK BY:	80403	DESIGN DEVELOPMENT	
CHECKER			
DRAWN BY:			
AUTHOR			

SLEE OFF ROAD  
T1-5178

Design Development  
Consultants @  
1310 FORD STREET  
COLORADO SPRINGS, CO 80915



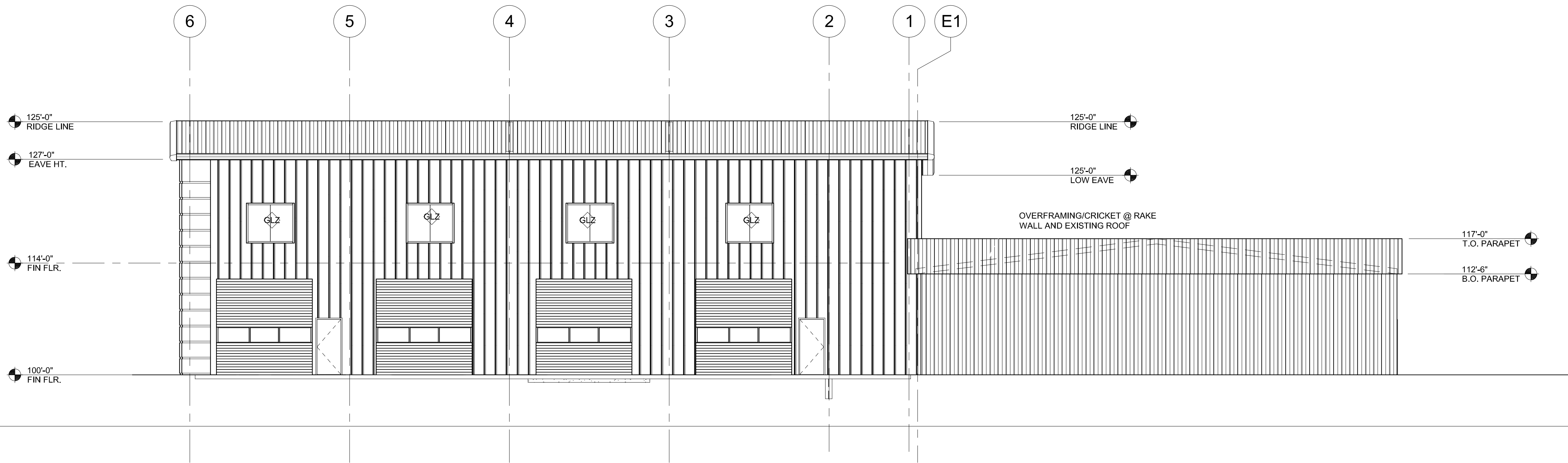
(719) 570-1466

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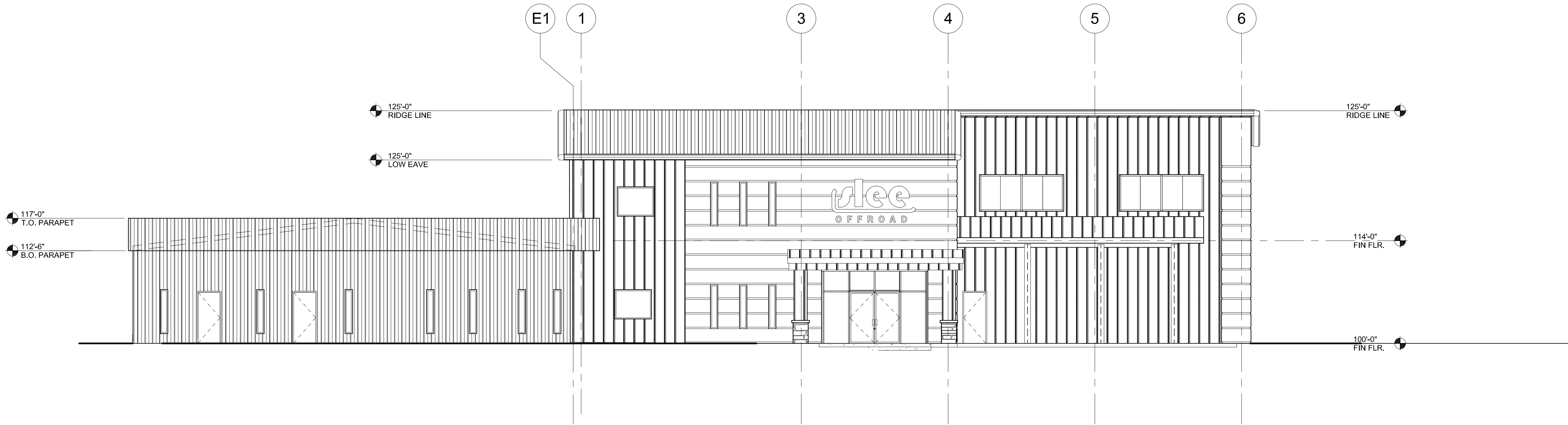


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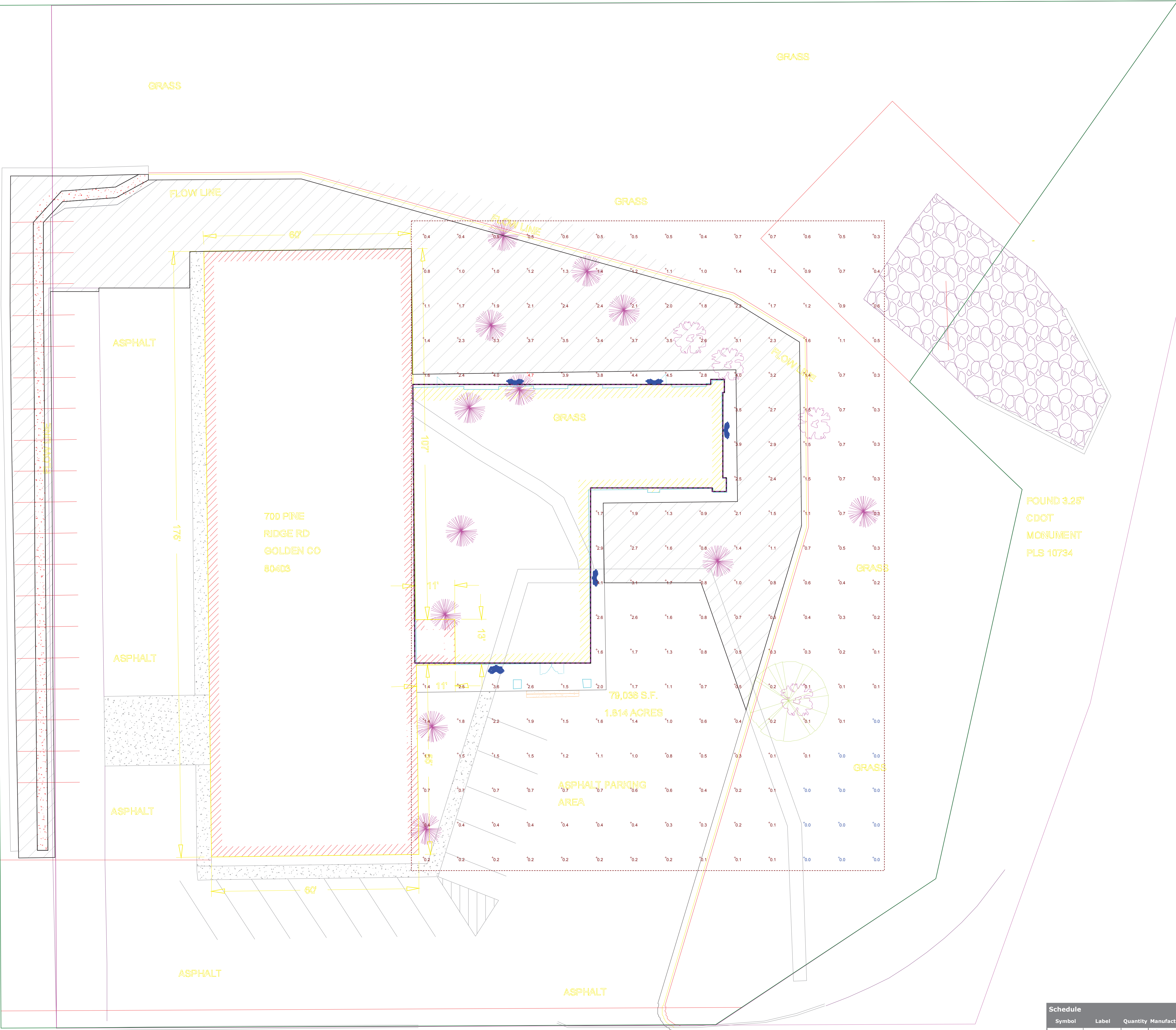
1 North  
1/8" = 1'-0"



2 South  
1/8" = 1'-0"







Plan View  
Scale - 1" = 14'



D-Series Size 1  
LED Wall Luminaire

Catalog Number	
Notes	
Type	



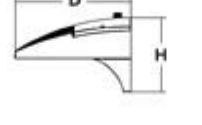
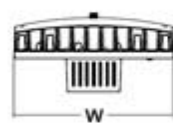
d-series

Specifications  
Luminaire

Width:	13-3/4" (34.9 cm)	Weight:	12 lbs (5.4 kg)
Depth:	10" (25.4 cm)		
Height:	6-3/8" (16.2 cm)		

Back Box (BBW, ELCW)

Width:	13-3/4" (34.9 cm)	BBW Weight:	5 lbs (2.3 kg)
Depth:	4" (10.2 cm)	ELCW Weight:	10 lbs (4.5 kg)
Height:	6-3/8" (16.2 cm)		



Introduction

The D-Series Wall luminaire is a stylish, fully integrated LED solution for building-mount applications. It features a sleek, modern design and is carefully engineered to provide long-lasting, energy-efficient lighting with a variety of optical and control options for customized performance.

With an expected service life of over 20 years of nighttime use and up to 74% in energy savings over comparable 250W metal halide luminaires, the D-Series Wall is a reliable, low-maintenance lighting solution that produces sites that are exceptionally illuminated.

Ordering Information

EXAMPLE: DSKW1 LED 20C 1000 40K T3M MVOLT DDBTXD

Series	LEDs	Drive Current	Color Temperature	Distribution	Voltage	Mounting	Control Options
DSKW1 LED	10C 10 LEDs (one engine) 20C 20 LEDs (two engines)	350 350 mA 530 530 mA 700 700 mA 1000 1000 mA (1 A)	30K 3000 K 40K 4000 K 50K 5000 K AMBPC Amber phosphor converted	T2S Type II Short T2M Type II Medium T3S Type II Short T3M Type II Medium T4M Type II Medium T4TM Forward Throw Medium ASYDF Asymmetric diffuse	MVOLT 120 V <sup>1</sup> 208 V <sup>1</sup> 240 V <sup>1</sup> 277 V <sup>1</sup> 347 V <sup>1</sup> 480 V <sup>2</sup>	Shipped included (blank) Surface mounting bracket BBW Surface-mounted back box (for conduct entry) <sup>1</sup>	Shipped installed PE Photocell: cell, basin type <sup>1</sup> DIMG 0-10V dimming driver (line control) PIB 180° motion/ambient light sensor, <15° mag. to 1° PIBA 180° motion/ambient light sensor, 15-30° mag. to 1° PIBFCV Motion/ambient sensor, 8-10° mounting height, ambient sensor enabled at 10° PIBIFCV Motion/ambient sensor, 15-10° mounting height, ambient sensor enabled at 10° ELCW Emergency battery backup (includes external component enclosure)

Other Options

Finish (optional)

Shipped installed	Shipped separately <sup>1</sup>	Finish (optional)
SE Single face (120, 277 or 347V) <sup>1</sup>	BSW Best-viewer spikes	DDBD Dark bronze
DF Double face (208, 240 or 480V) <sup>1</sup>	WG Wire guard	DDBL Black
HS Hour-side shield <sup>1</sup>	VG Vertical guard	DNDL Natural aluminum
SPO Separate surge protection <sup>10</sup>	DOL Diffused drop lens	DNDW White
		DDBD Dark bronze
		DDBL Black
		DNDL Natural aluminum
		DNDW White

NOTES

- 1 MVOLT driver operates on any line voltage from 120-277V (50/60 Hz). Specify 120, 208, 240 or 277 options only when ordering with fusing (SE, DF, optional), or photocell (PE) option.
- 2 Only available with 20C, 700mA or 1000mA. Not available with PIB or PIBA.
- 3 Back box ships installed on fixture. Cannot be field installed. Cannot be ordered as an accessory.
- 4 Photocell (PE) requires 120, 208, 240, 277 or 347 voltage option. Not available with motion/ambient light sensors (PIB or PIBA).
- 5 PIB specifies the Sensor Switch (SS) or COPI control. PIBA specifies the Sensor Switch (SS) or COPI control. See Motion Sensor Guide for details. Includes ambient light sensor. Not available with "PE" option button type photocell. Dimming driver standard. Not available with 20 LED/1000 mA configuration (DSKW1 LED 20C 1000).
- 6 PIB and PIBA specify the Sensor Switch (SS) or COPI control. PIBA and PIBA specify the Sensor Switch (SS) or COPI control. See Motion Sensor Guide for details. Dimming driver standard. Not available with PIB or PIBA. Ambient sensor disabled when ordered with DCK. Separate on/off required.
- 7 Cold weather (COW) rated. Not compatible with conduct entry applications. Not available with BBW mounting option. Not available with fusing. Not available with 347 or 480 voltage options. Emergency components located in back box housing. Emergency made ES file located on product page at [www.lithonia.com](http://www.lithonia.com).
- 8 Single face (SE) requires 120, 277 or 347 voltage option. Double face (DF) requires 208, 240 or 480 voltage option. Not available with ELWC.
- 9 Also available as a separate accessory; see Accessories information.
- 10 See the electrical section on page 3 for more details.

Accessories

Ordered and shipped separately.

DSKW1	Recessed side shield lens per light output
DSKW1	Best-viewer spikes
DSKW1	Wire guard accessory
DSKW1	Double guard accessory



One Lithonia Way • Conyers, Georgia 30012 • Phone: 800.279.8041 • Fax: 770.918.1209 • [www.lithonia.com](http://www.lithonia.com)  
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Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #2	+	1.2 fc	4.7 fc	0.0 fc	N/A	N/A

Schedule

Symbol	Label	Quantity	Manufacturer	Catalog Number	Description	Lamp	Number Lamps	Filename	Lumens Per Lamp	Light Loss Factor	Wattage
	A	4	Lithonia Lighting	DSKW1 LED 20C 1000 50K T3M MVOLT	DSKW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T3M OPTIC, 5000K, @ 1000mA.	LED	1	DSKW1_LED_20C_1000_50K_T3M_MVOLT.ies	7620	0.92	73.2
	B	1	Lithonia Lighting	DSKW1 LED 20C 1000 50K T4M MVOLT	DSKW1 LED WITH (2) 10 LED LIGHT ENGINES, TYPE T4M OPTIC, 5000K, @ 1000mA.	LED	1	DSKW1_LED_20C_1000_50K_T4M_MVOLT.ies	7466	0.92	73.2

Designer

Date

3/22/2016

Scale

Not to Scale

Drawing No.

Summary



SCALE: 1" = 20'



## REFERENCE NOTES SCHEDULE

## PLAN NOTES

1. NO SUBSTITUTIONS WITHOUT PREVIOUS APPROVAL OF LANDSCAPE ARCHITECT. UNAPPROVED DEVIATIONS FROM THIS PLAN WILL BE RECTIFIED AT CONTRACTORS EXPENSE.
2. CONTRACTOR TO PROVIDE ANALYSIS OF ANY AMENDMENTS PROPOSED FOR PLANTING AREAS PRIOR TO INSTALLATION OF SUCH MATERIALS.
3. CONTRACTOR TO PROVIDE RECEIPTS TO LANDSCAPE ARCHITECT FOR ALL SEEDING PROPOSED ON SITE, PRIOR TO INSTALLATION OF SEEDING MATERIALS.
4. NO FABRIC UNDER WOOD MULCH IN ANY AREAS. ALL PLANTS IN ROCK MULCH AREAS TO RECEIVE SHREDDED CEDAR MULCH RINGS. MASSING SHALL HAVE CONTINUOUS SHREDDED MULCH BANDS. SEE DETAILS SHEET L2.0.
5. DRIPLINE TO BE PLACED OVER WEED BARRIER FABRIC AND STAKED ON TOP OF WEED BARRIER.
6. WEED BARRIER CUTOUTS FOR PLANTS IN ROCK AREAS SHALL ACCOUNT FOR MATURE SIZE OF PLANTS, AND EQUAL AT LEAST THE DIAMETER OF THE ROOTBALL. SEE DETAILS SHEET L2.0
7. ALL EMITTERS PER IRRIGATION PLAN. EMITTERS TO BE PLACED AT THE APPROPRIATE LOCATIONS. ALL EMITTERS TO USE MICRO TUBING, STAKES, AND BUG CAPS.
8. RETAIN 10% OF ALL PLANT TAGS PER SPECIES FOR DURATION OF WARRANTY PERIOD.

OVERALL LANDSCAPE	
-------------------	--

SUSTAINABILITY STANDARDS		
Total number of trees required	Total # trees provided	% Additional
21	26	20%

SEED MAINTENANCE: MOW NATIVE LAWN MIX ABOUT 1/2 THE AMOUNT AS SODDED TURFGRASS OR AS NEEDED. MOW NATIVE/FOOTHILLS SEED AREAS ONCE A MONTH OR ONLY WHEN NEEDED TO CONTROL WEEDS OR AT END OF GROWING SEASON. MOW/FOOTHILLS/WILD/FLOWER SEED MIX FREQUENTLY DURING FIRST YEAR TO A HEIGHT OF 6-8". HAND PULL WEED OR SPOT WEED USING A BROADLEAF APPLICATION DURING FIRST 3 GROWING SEASONS.

**SEED ESTABLISHMENT:** KILL EXISTING VEGETATION BY SOLARIZATION, OR WITH A NON-RESIDUAL HERBICIDE. ALLOW SUFFICIENT TIME FOR HERBICIDE TO WORK. IRRIGATE FOR 2-3 WEEKS AND RE-APPLY HERBICIDE TO ANY EMERGING WEEDS. REMOVE DEBRIS, LARGE CLUMPS, ETC. SPREAD ORGANIC MATTER AT 2 CYD PER 1000 SF AND SPECIFIED AMENDMENTS AND TILL INTO TOP 4-6" OF SOIL. SEE NOTE #10 FOR SPECIFICS ON APPLICATION METHOD. SLOPE PROTECTION, ETC. HYDROMULCH AND ENSURE SEEDLINGS DO NOT DRY OUT FOR AT LEAST 45 DAYS BY IRRIGATING FREQUENTLY. SEEDLINGS TO BE IN DAMP SOIL BUT NOT STANDING WATER PROVIDE LESS FREQUENT, DEEP IRRIGATION AFTER SEED EMERGENCE.



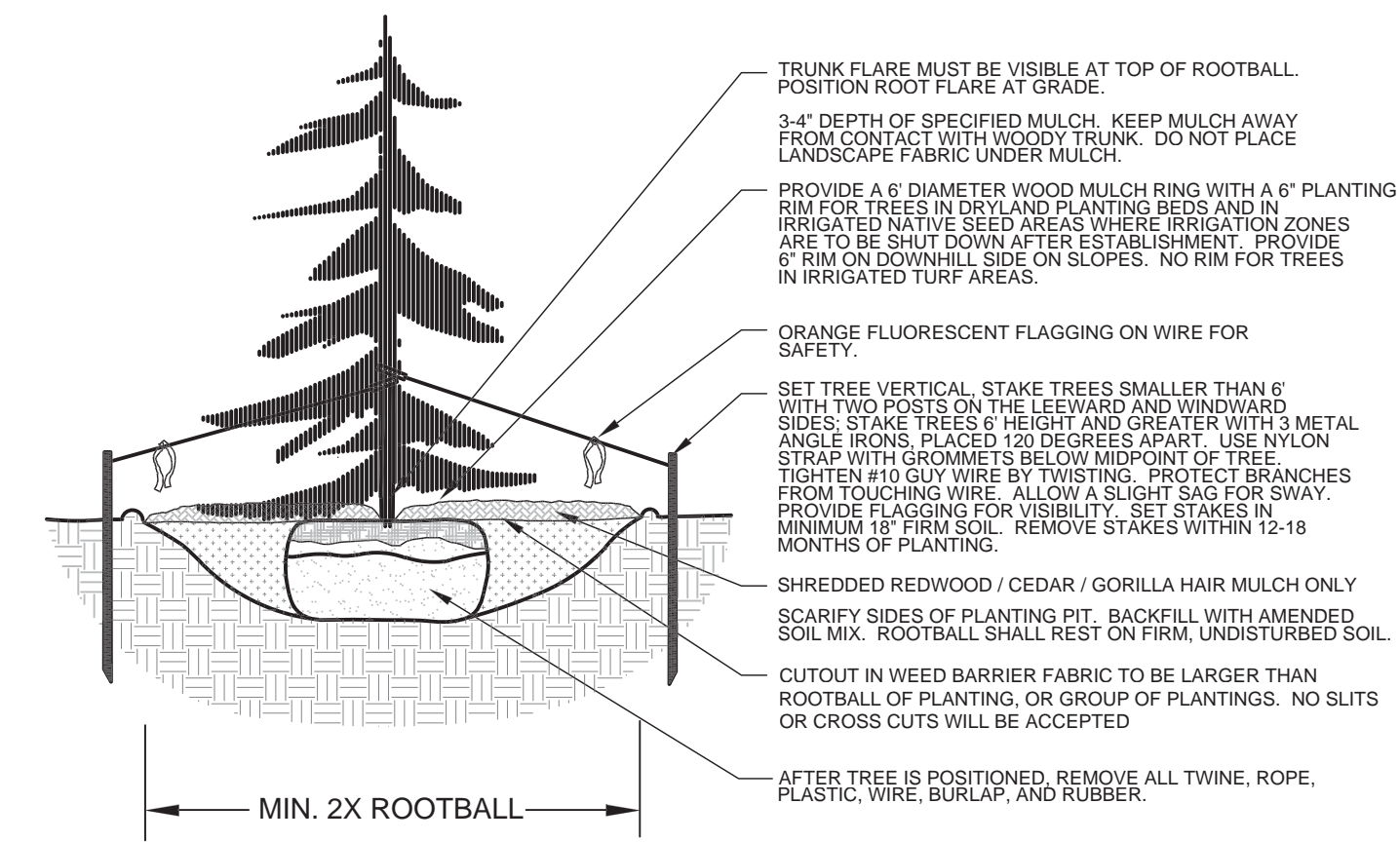


GENERAL NOTES

- (Note: All references to "Contractor" are specific to "Landscape Contractor" unless notified as "General or other type of Contractor")
- CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF MATERIALS NEEDED TO COMPLETE THIS PLAN IN THE FIELD. NOTIFY LANDSCAPE ARCHITECT OF ANY DISCREPANCIES BETWEEN THE DRAWINGS AND CONDITIONS IN THE FIELD. SUBSTITUTIONS OF PLANT MATERIAL ARE NOT ALLOWED WITHOUT APPROVAL FROM LANDSCAPE ARCHITECT GIVEN PRIOR TO INSTALLATION. GRAPHIC QTY'S PREVAIL OVER WRITTEN QTY'S. PRIOR TO COMMENCEMENT OF WORK THE LANDSCAPE CONTRACTOR SHALL CONTACT OWNERS REPRESENTATIVE FOR SPECIFIC INSTRUCTIONS RELEVANT TO THE SEQUENCING AND SCOPE OF WORK.
  - CONTRACTOR IS RESPONSIBLE FOR INSTALLING LANDSCAPE SHOWN ON THIS PLAN. ANY DEFICIENCIES OR DEVIATIONS FROM THIS PLAN ARE TO BE APPROVED BY OWNER'S REPRESENTATIVE OR LANDSCAPE ARCHITECT. ANY CHANGES FROM THE APPROVED PLANS MAY REQUIRE APPROVAL FROM THE CITY OR COUNTY PLANNING DEPARTMENTS. LANDSCAPE CONTRACTOR TO PROVIDE ALL LABOR AND MATERIALS NECESSARY TO FURNISH SCOPE OF WORK AS SHOWN PER PLAN.
  - EXISTING TOPSOIL IS TO BE STOCKPILED AND USED TO ESTABLISH FINAL GRADES WITHIN LANDSCAPE AREAS. ALL STOCKPILED SOIL MUST BE CLEAR OF WEEDS, ROCKS AND DEBRIS BEFORE REUSE. ALL BERMED PLANTING BEDS TO BE CREATED WITH IMPORTED TOPSOIL.
  - GENERAL CONTRACTOR TO RE-SPREAD STOCKPILED SOIL AND ESTABLISH ROUGH GRADE CONDITIONS TO THE FOLLOWING SPECIFICATIONS:  
A. 1" BELOW CURB FOR ALL SEEDDED AREAS.  
B. 2.5" BELOW CURB FOR ALL SODDED AREAS.  
C. 4" BELOW CURB FOR ALL PLANTING, ROCK AND MULCH BEDS.
  - CONTRACTOR TO TILL PARKING LOT ISLANDS TO A DEPTH OF 30".
  - AMEND ALL PLANTING BEDS WITH CLASS 1 COMPOST. APPLY AT RATE OF 3 CYDS. PER 1000 SQUARE FEET TO ALL PLANTING BEDS AND MANICURED LAWN AREAS, AND 2 CYDS. PER 1000 SQUARE FEET FOR SEEDDED AREAS. TILL, MIXING THOROUGHLY, INTO THE UPPER 8" OF SOIL.
  - FINE GRADE TO BE ESTABLISHED BY LANDSCAPE CONTRACTOR. FINE GRADE SHALL BE FREE OF ROCKS AND DEBRIS. FINE GRADE IN SEED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/2" AND GREATER. FINE GRADE IN SODDED AREAS SHALL BE FREE FROM ROCKS AND DEBRIS 1/4" AND GREATER. CONTRACTOR TO REPORT ANY POOR DRAINAGE CONDITIONS PRIOR TO CONSTRUCTION.
  - CONTRACTOR IS TO PROVIDE VERIFICATION THAT ALL SOD AND SEED IS OF THE SPECIES SHOWN ON THIS PLAN. NO SUBSTITUTIONS WILL BE ALLOWED. SOD TO BE LAID WITH TIGHT STAGGERED EDGES AND BE ROLLED AFTER INSTALLATION. SEEDDED AREAS CANNOT BE SUBSTITUTED WITH SOD.
  - MULCHS: ALL PLANTING BEDS THAT CALL FOR WOOD/ORGANIC MULCH TO RECEIVE 4" ORGANIC SHREDDDED BARK MULCH. SHREDDDED MULCH IS TO BE OF FIBROUS MATERIAL, NOT CHIPS OR CHUNKS. NO FABRIC IS TO BE PLACED UNDER WOOD/ORGANIC MULCH. TREES IN TURF AND NATIVE GRASS AREAS TO RECEIVE 4" DIAMETER OF WOOD MULCH. 3" DEPTH. SHRUBS AND GROUNDCOVERS IN NATIVE GRASS AREAS TO RECEIVE WOOD MULCH RING MINIMUM 6" LARGER RADIUS THAN ROOT BALL OR CONTAINER SIZE 3" DEEP. ALL MULCHED BEDS ARE TO BE SPRAYED WITH WATER AFTER INSTALLATION TO HELP MULCH TO MAT DOWN.  
  
TREES IN COBBLE/ROCK MULCH TO RECEIVE 4" DIAMETER OF WOOD MULCH. 3" DEEP. SHRUBS AND GROUNDCOVERS IN COBBLE/ROCK MULCH AREAS TO RECEIVE WOOD MULCH RING MINIMUM 6" LARGER RADIUS THAN ROOT BALL OR CONTAINER SIZE. 3" DEEP. NO FABRIC UNDERLAYMENT IN WOOD MULCH AREAS.  
  
USE PERMEABLE FABRIC UNDERLAYMENT FOR ALL COBBLE/AGGREGATE AREAS WITH SLOPES 3:1 AND LESS. USE QUICK RELEASE ORGANIC PRE-EMERGENT HERBICIDE FOR ALL MULCHED AND PERENNIAL/PLANTING BEDS (AND FOR COBBLE/AGGREGATE AREAS WITH SLOPES EXCEEDING 3:1 GRADE).
  - SEED MIX INSTALLATION: CONTRACTOR TO DRILL SEED WITH BRILLION TYPE APPLICATOR AND APPLY SOIL GUARD<sup>®</sup> BONDED FIBER MATRIX (BFM), WHERE INDICATED PER PLAN AND SCHEDULES. APPLY SEED IN TWO DIRECTIONS (PERPENDICULAR OF THE OTHER). ADD SOIL GUARD BFM FOR DRILL SEEDING WHERE NOTED PER PLAN AND ON ALL SLOPES 5:1 TO 3:1. FOR AREAS WITH 3:1 SLOPES OR GREATER CONTRACTOR TO USE SOIL GUARD APPLICATION ONLY (IN LIEU OF HYDROMULCH). CONTRACTOR TO SPOT SEED NON-GERMINATING AREAS (3) MONTHS AFTER INITIAL SEED APPLICATION. CONTRACTOR TO RE-SEED ALL BARE AREAS (6"x6") AND GREATER AFTER (6) MONTHS FROM SEED GERMINATION OR AT THE BEGINNING OF THE FOLLOWING GROWING SEASON. PRIOR TO THE 11-MONTH WARRANTY INSPECTION RE-APPLY SOIL GUARD AND SEED MIX TO ALL BARE AREAS (6"x6" OR GREATER) AND TO ALL BARE AREAS (4"x4" OR GREATER) ON ALL SLOPES 3:1 AND GREATER.

NOTES:

- DO NOT REMOVE OR CUT LEADER.
- PRUNE ONLY DEAD OR BROKEN BRANCHES IMMEDIATELY PRIOR TO PLANTING.
- DO NOT REMOVE ANY DOUBLE LEADER, UNLESS OTHERWISE DIRECTED BY OWNERS REPRESENTATIVE.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.
- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- PINE AND SPRUCE TREES TO BE SPRAYED FOR IPS BARK BEETLE PRIOR TO PLANTING. COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
- ALL TREES TO BE DEEP WATERED AT TIME OF PLANTING.

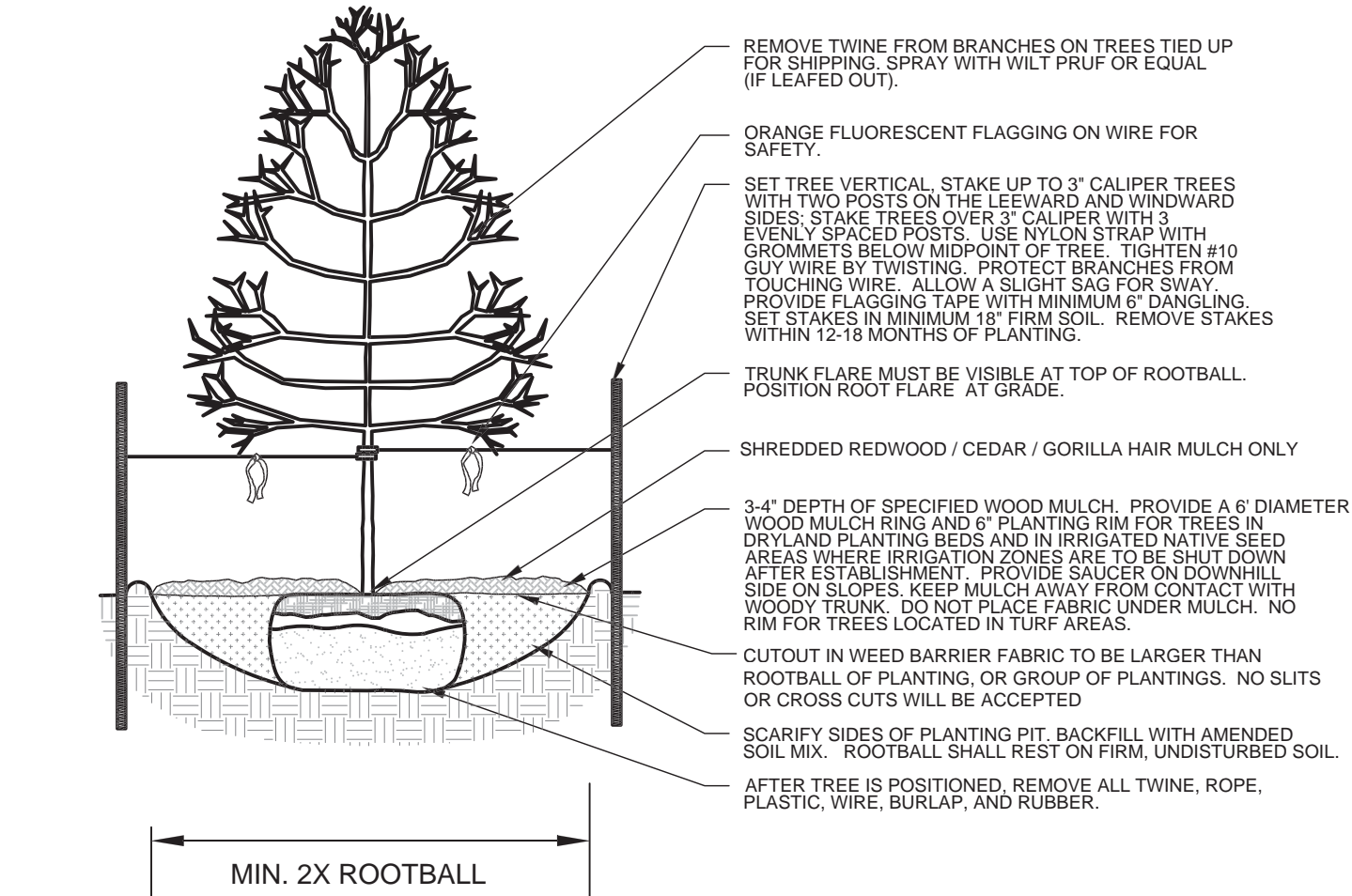


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EVERGREEN TREE PLANTING DETAIL  
NOT TO SCALE  
SECTION

- REMOVED DEAD TWIGS AND BRANCHES FROM ALL NEW AND EXISTING PLANT MATERIAL IN A MANNER THAT DOES NOT CHANGE THE NATURAL HABIT OF THE PLANT MATERIAL. CENTRAL LEADERS SHALL NOT BE REMOVED AT ANY TIME. NEWLY PLANTED TREES WITHOUT CENTRAL LEADERS WILL BE REJECTED.
- CONTRACTOR TO APPLY FERTILIZER IN SPRING & LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.  
  
ALL SEEDDED AND SODDED AREAS TO HAVE RECOMMEND FERTILIZER APPLICATIONS ADDED ONCE IN MID TO LATE JUNE AND ONCE IN LATE SEPTEMBER. WATER THOROUGHLY AFTER APPLICATION OF FERTILIZERS.
- ALL PLANT MATERIALS AND UTILITIES ARE SHOWN AT AN APPROXIMATE LOCATIONS. THE CONTRACTOR MAY NEED TO ADJUST LOCATIONS OF PLANT MATERIAL TO ADHERE TO SPECIFIC ON-SITE CONDITIONS AND CODE REQUIREMENTS. ALL TREES AND SHRUBS TO BE PLACES AT 2' MINIMUM BACK OF CURB. CONTRACTOR TO CALL FOR UTILITY LOCATES BEFORE PLANTING (TYP.) 1-800-922-1987, OR CALL 811 BEFORE YOU DIG!
- STEEL EDGING TO BE USED TO SEPARATE ALL TURF AND/OR SEEDDED AREAS FROM PLANTING BEDS. USE PERFORATED EDGING SEGMENTS TO OBTAIN POSITIVE DRAINAGE FOR ALL DRAINAGE SWALES OR AREAS OF STANDING WATER.
- CONTRACTOR TO PROVIDE COBBLE & UNDERLAYMENT FOR BUILDING DRAINS AND SWALES THROUGH LANDSCAPED AREAS.
- ALL REQUIRED LANDSCAPING TO BE INSTALLED PRIOR TO ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.
- ALL NURSERY STOCK TO CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK (ANSI z60.1) AND THE COLORADO NURSERY ACT.
- CONTRACTOR IS RESPONSIBLE FOR CONTACTING LANDSCAPE ARCHITECT FOR ALL REQUIRED INSPECTIONS. PROVIDE AT LEAST 48 HOURS NOTICE TO SCHEDULE AN INSPECTION. REQUIRED INSPECTIONS INCLUDE A LANDSCAPE LAYOUT AND PLANT MATERIAL VERIFICATION AND PLACEMENT INSPECTION, IRRIGATION MAIN LINE INSPECTION, LANDSCAPE AND IRRIGATION PUNCH LIST INSPECTION, AND A LANDSCAPE AND IRRIGATION FINAL INSPECTION.
- CONTRACTOR IS TO PROVIDE A ONE YEAR WARRANTY ON ALL PLANT MATERIAL, TURF, IRRIGATION COMPONENTS, AND WORKMANSHIP. REPLACEMENT PLANT MATERIALS SHALL BE OF THE SAME SPECIES AND SIZE AS THE DECAYED OR DEAD PLANT MATERIAL. WARRANTY IS VOID IF PLANT MATERIAL ARE UNDER OR OVER-WATERED/FERTILIZED, DAMAGED BY VANDALISM OR NEGLECTED BY OWNER AFTER FINAL MAINTENANCE PERIOD AND FINAL ACCEPTANCE IS PROVIDED.
- REMOVE ALL TREE STAKING MATERIALS AT END OF WARRANTY, PRIOR TO FINAL ACCEPTANCE
- MAINTENANCE: THE OWNER OF THIS PROPERTY AND ANY FUTURE OWNERS SHALL BE RESPONSIBLE FOR THE PROPER LANDSCAPE AND IRRIGATION MAINTENANCE OF THIS SITE AND ANY RIGHT OF WAY AREAS BETWEEN THE CURB AND PROPERTY LINES OF THIS SITE. MAINTENANCE OF THIS SITE INCLUDES, BUT IS NOT LIMITED TO, IRRIGATION INSPECTIONS AND ADJUSTMENTS, IRRIGATION SYSTEM SHUT DOWN AND START UP, IRRIGATION LEAK REPAIR, LANDSCAPE WEEDING, MOWING, SEEDING, FERTILIZATION, WOOD MULCH AND ROCK COVER REPLACEMENT, PRUNING, AND PLANT MATERIAL REPLACEMENT (INCLUDING ANNUAL BEDS). ALL MAINTENANCE SHOULD BE IN ACCORDANCE WITH STANDARDS SPECIFIED WITHIN THE "ALCC SPECIFICATIONS HANDBOOK" REVISED EDITION, 1996. OWNER SHOULD CONTACT LANDSCAPE CONTRACTOR OR LANDSCAPE ARCHITECT REGARDING ANY QUESTIONS RELATING TO THE LANDSCAPE OR IRRIGATION MAINTENANCE OF THIS SITE.

NOTES:

- MARK THE NORTH SIDE OF TREE IN THE NURSERY, AND ROTATE TREE TO FACE NORTH AT THE SITE WHENEVER POSSIBLE.
- AT TIME OF PLANTING, DO NOT REMOVE OR CUT LEADER AND PRUNE ONLY DEAD OR BROKEN BRANCHES, CROSS OVER BRANCHES, AND WEAK OR NARROW CROTCHES. SOME INTERIOR TWIGS AND LATERAL BRANCHES MAY BE PRUNED. HOWEVER, DO NOT REMOVE THE TERMINAL BUDS OF BRANCHES THAT EXTEND TO THE EDGE OF THE CROWN.
- STRUCTURAL PRUNING SHOULD NOT BEGIN UNTIL AFTER ESTABLISHMENT PERIOD, USUALLY TWO GROWING SEASONS.
- KEEP PLANTS MOIST AND SHADED UNTIL PLANTING.
- DO NOT FERTILIZE FOR AT LEAST ONE GROWING SEASON.
- AMENDED BACKFILL SHALL BE AS STATED ON THIS SHEET.
- WRAP TRUNK ON EXPOSED SITES AND SPECIES WITH THIN BARK. USE ELECTRICAL OR DUCT TAPE, NOT TWINE.
- COORDINATE WITH CITY FORESTRY FOR CURRENT INSECT AND DISEASE RECOMMENDATIONS PRIOR TO PLANTING.
- DEEP WATER ALL PLANTS AT TIME OF PLANTING.



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DECIDUOUS TREE PLANTING DETAIL  
SECTION

EXISTING TREES

EXISTING TREES DESIGNATED ON PLANS AS "TO REMAIN", OR MARKED FOR PROTECTION AND PRESERVATION IN THE FIELD, SHALL NOT BE REMOVED OR DAMAGED.

NO GRADING TO OCCUR WITHIN THE CRITICAL ROOT ZONE / DRIP LINE OF EXISTING TREES. ALL GRADING AROUND EXISTING TREES TO REMAIN SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT.

PRIOR TO CONSTRUCTION, ALL PROTECTED TREES SHALL HAVE ORANGE PROTECTION BARRIER FENCING ERECTED AT A HEIGHT OF 3' OR GREATER, FENCING TO BE SUPPORTED BY STURDY STOCK, CAPABLE OF SUPPORTING FENCING UNTIL ALL CONSTRUCTION OPERATIONS ARE COMPLETED. PLACE NO CLOSER THAN 8" FROM TRUNK, OR ONE HALF (1/2) OF THE DRIP LINE, WHICHEVER IS GREATER. WITHIN THE PROTECTED ZONE THERE SHALL BE NO MOVEMENT OF EQUIPMENT OR STORAGE OF EQUIPMENT, MATERIALS, WAIST, DEBRIS, OR FILL, UNLESS APPROVED BY THE LANDSCAPE ARCHITECT.

AVOID CUTTING SURFACE ROOTS WHEREVER POSSIBLE. SIDEWALKS AND PAVING LEVELS SHOULD BE CONTOURED SUFFICIENTLY TO AVOID SUCH. ROOT CUTS FROM EXCAVATION SHOULD BE DONE RAPIDLY. SMOOTH FLUSH CUTS SHOULD BE MADE. BACKFILL BEFORE ROOTS HAVE A CHANCE TO DRY OUT, AND THOROUGHLY WATER THE TREE IMMEDIATELY.

IRRIGATION NOTES

ALL TURF AREAS TO BE IRRIGATED WITH AN AUTOMATIC POP-UP SPRINKLER SYSTEM. ALL SHRUBS BEDS TO BE IRRIGATED WITH AUTOMATIC DRIP IRRIGATION SYSTEM. THE IRRIGATION SYSTEM IS TO BE ADJUSTED TO MEET THE NEEDS OF INDIVIDUAL PLANT MATERIAL.

IRRIGATION SYSTEM TO BE ADJUSTED AS NEEDED FOR PLANT ESTABLISHMENT FOR A PERIOD OF AT LEAST ONE (1) YEAR.

ADJUSTMENTS TO BE MADE AFTER ESTABLISHMENT BASED ON SPECIFIC PLANT REQUIREMENTS. SEE SUGGESTED RUN TIMES PROVIDED WITHIN THESE PLANS.

DESIGN OF IRRIGATION SYSTEMS TO MEET OR EXCEED LOCAL REQUIREMENTS AND INDUSTRY STANDARDS. CONSTRUCTION DOCUMENTS SUITABLE FOR DEVELOPMENT COORDINATION TO BE PROVIDED.

IRRIGATION SYSTEM TO BE DESIGNED USING APPROPRIATE COMPONENTS FOR PLANT MATERIAL, AND WILL INCLUDE A SMART ET CONTROLLER AND RAIN SENSOR.

ALL NATIVE SEED AREAS TO BE TEMPORARILY IRRIGATED UNTL ESTABLISHED.

EXISTING TREE PROTECTION DIRECTIONS:

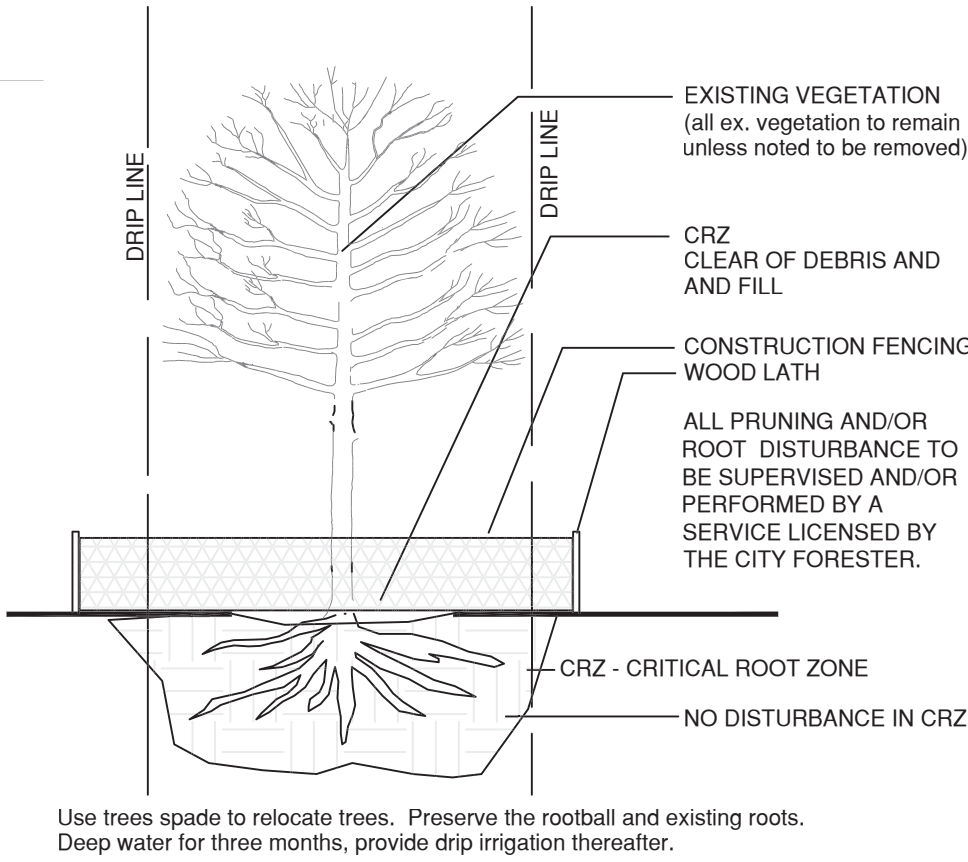
PROTECTIVE FENCING:

FOUR FEET HEIGHT PROTECTIVE FENCING IS TO BE INSTALLED AROUND THE EXISTING TREES TO REMAIN PRIOR TO CONSTRUCTION ON THIS SITE. CONTRACTOR IS TO TAKE PRECAUTIONS TO ENSURE THAT EXISTING ROOTS AND LIMBS ARE NOT DAMAGED DURING EXCAVATION ADJACENT TO TREES. FENCING IS TO BE INSTALLED BELOW THE EDGE OF THE CANOPY OF THE EXISTING TREES TO REMAIN. FENCING IS TO REMAIN IN PLACE FOR THE DURATION OF CONSTRUCTION.

IF ROOT PRUNING IS NECESSARY FOR GRADING, EXCAVATING, OR INSTALLATION OF IRRIGATION SYSTEM, ALL ROOT PRUNING IS TO TAKE PLACE OUTSIDE OF THE PROTECTIVE FENCING AROUND EACH TREE. CONTRACTOR IS TO TRENCH 12" AWAY FROM PROTECTIVE FENCING. ANY ROOTS LARGER THAN 2" ARE TO BE SAW CUT. CONTRACTOR IS TO HAND DIG ANY TRENCHES AND SAW CUT ANY INTERFERING ROOTS INSIDE THE PROTECTIVE FENCE AREAS.

WATERING, MULCHING, AND FERTILIZATION:

PRIOR TO CONSTRUCTION CONTRACTOR IS TO PLACE A 4" DEPTH OF WOOD CHIPS OR MULCH INSIDE THE PROTECTIVE FENCING OF EXISTING TREES TO REMAIN. CONTRACTOR IS TO PROVIDE REGULAR DEEP WATERING TO ALL EXISTING TREES TO REMAIN THROUGHOUT CONSTRUCTION. DURING CONSTRUCTION A SLOW-RELEASE NITROGEN FERTILIZER IS TO BE APPLIED AROUND THE BASE OF EACH TREE AT A RATE OF 2 LBS. PER 1000 S.G. (USE DRIP LINE OF TREE TO CALCULATE SQUARE FOOTAGE).



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TREE PROTECTION DETAIL  
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Revisions  
# DESCRIPTION DATE

700 PINE RIDGE ROAD  
GOLDEN , COLORADO

DATE:  
03-08-2016

CHK BY:  
NAM

DRAWN BY:  
JRO

